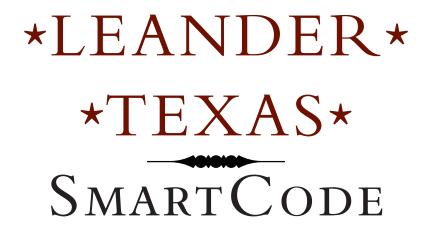
LEANDER SMARTCODE

August 2, 2005



SmartCode Authored By: TRANSECT CODEWARE COMPANY * MIAMI*

 $\begin{array}{c} \mbox{SmartCode Customized For Leander By:}\\ Gateway Planning Group \\ *Austin*Dallas-Ft. Worth* \end{array}$

PLACEMAKERS *Miami*Albuquerque*Atlanta*

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GENERAL TO ALL PLANS

I.I AUTHORITY

- 1.1.1 The action of Leander, Texas in the adoption of this Code is authorized under the City Charter of the City; Chp. 211 of the Local Govt. Code; Art. II, Sec. 5 of the Texas Constitution; and General laws of the State of Texas.
- This Unified Development Code I.I.2 ("Code"), as land development regulation, providing both zoning and subdivision standards, is adopted as one of the instruments of implementation of the public purposes and objectives of the Comprehensive Plan. This Code shall apply to, and be in full force and effect only within the boundaries of this Transit-Oriented Development Sector ("TOD Sector"). The Community Plan created under this Code defines the TOD Sector as represented in the TOD Transect Map, as amended. This Code and the Transect Map are declared to be in accord with the Comprehensive Plan and ordinances of the City.
- 1.1.3 This Code and Transect Map were adopted by vote of the Leander City Council.

1.2 INTENT & PURPOSE

The purpose of this Code is to enable, encourage and qualify the implementation of the following policies.

- I.2.I THE AREA
 - a. That the area should retain its natural

infrastructure and visual character derived from topography, woodlands, farmlands, riparian corridors and coastlines.

- b. That growth strategies should encourage infill and redevelopment in parity with new communities.
- c. That development contiguous to urban areas should be structured in the neighborhood pattern and be integrated with the existing urban pattern.
- d. That the pattern of development should respect historical precedents.
- e. That transportation corridors shall be planned and reserved in coordination with land use and as directed by the CIP Roads and Major Street Network in the Transect Map.
- f. Green corridors and flood plain shall be used to define and connect the neighborhoods within the Transect Map and the surrounding urbanized areas of the area.
- g. That the area should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.
- I.2.2 The Community
 - a. That neighborhoods and Regional Centers shall be compact, pedestrianoriented and mixed--use.
 - b. That neighborhoods and Regional Centers shall be the preferred pattern

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of development and that districts specializing in single-use should be the exception.

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- c. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- d. That interconnected networks of thoroughfares shall be designed to disperse and reduce the length of automobile trips.
- e. That within each pedestrian shed, a range of housing types and price levels shall be provided to accommodate diverse ages and incomes. (See Section 3.4.4 through 3.4.6 below.)
- f. That appropriate building densities and land uses should be provided within walking distance of transit stops.
- g. Thatcivic,institutional,and commercial activity should be embedded in town centers and neighborhood centers, not isolated in remote single-use complexes.
- h. That schools should be sized and located to enable children to walk or bicycle to them.
- i. That a range of open space including parks, squares, and playgrounds shall be distributed within neighborhoods and town centers.

1.2.3 The Block and the Building

- a. That buildings and landscaping shall contribute to the physical definition of thoroughfares as civic places consistent with Tables 3, 5, 7, 8A, 8B, 9, 10A, 10B, 11, 15, 16A, 16B, 17, 18 and 19.
- b. That development shall adequately accommodate automobiles while respecting the pedestrian and the spatial form of public space.
- c. That the design of streets and buildings

shall reinforce safe environments and preserve accessibility.

- d. That landscape design shall grow from local climate and topography, and that architecture should grow from local climate, topography, history, and building practice.
- e. That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
- f. That civic buildings and public gathering places should be provided at locations that reinforce community identity and support self-government.
- g. That civic buildings shall be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- h. That the preservation and renewal of historic buildings should be facilitated to affirm the continuity and evolution of society.
- i. That the harmonious and orderly evolution of urban areas should be secured through graphic codes that serve as guides for change.
- j. That an occupant shall be entitled to all authorized functions delineated in Tables 13A and 13B for a given Transect Zone upon the approval of a PUD Plan and a Site Plan.

1.3 Applicability

- 1.3.1 Provisions of this Code are activated by "shall" when required; "should" when recommended; and "may" when optional. When recommended, compliance shall be required, unless an alternative is approved by the Urban Design Officer ("UDO").
- 1.3.2 The provisions of this Code, when in conflict, shall take precedence over those

of other codes, ordinances, regulations and standards of the City of Leander.

- 1.3.3 The codes and ordinaces of the City continue to be applicable to issues not covered by this Code except where these would contradict the Intent of Section 1.2, in which case the conflict shall be resolved in favor of this Code.
- The subdivision ordinance of the City I.3.4 shall be and remain in full force and effect to the extent not in conflict with this Code; provided that the process and procedures for review and approval of a PUD Plan will constitute approval of the preliminary plat of the subdivision. A provision in this Code that conflicts with the subdivision ordinance or any other city regulation, e.g. street lighting, street and thoroughfare layout, street drainage, landscaping and setbacks will govern and control; provided that all streets, drainage to be constructed as provided in this Code, water and wastewater lines and facilities, utilities, and all other infrastructure shall be designed and installed in accordance with good engineering practices and city approved plans and specifications. The specifications for and quality of construction installation and of all infrastructure shall comply with the rules, regulations, standards and requirements of the City, in effect from time to time. All construction, work and installation shall be suject to City inspection and acceptance.
- 1.3.5 This Code establishes and shall govern the permitted uses of land and PUD zoning within the TOD sector, subject to the requirment that PUD plans in conformance with this Code and the Community Plan for the TOD sector be submitted, reviewed and approved for development. If not in conflict with this Code, the processes and procedures for zoning and approval of PUD plans, site

development and construction plans, and building permits shall be as provided in the comprehensive zoning ordinance and related ordinances of the City, as amended. When a provision of this Code conflicts with a provision of the comprehensive zoning ordinance of the City, this Code shall control.

1.4 PROCESS

- I.4.I The Transect Map is a "Community Plan." Communities (defined by extent and intensity in Sections 3 and 4) are comprised of Transect Zones (defined by the elements appropriate to them in Sections 5 and 6) as delineated in the Transect Map. If this Code is extended to include any other area of the city, one or more Community Plans shall be created for that area in order to establish additional transect maps. The Transect Map for Community Plans serves as the basis for a comprehensive plan for the area of the city included in the TOD Transect Map. If a provision of the TOD Transect Map at its boundary, conflicts with plans of the city applicable to an abutting area, the conflict will be reconciled by the City Council with preference given to the Transect Map and this Code.
- 1.4.2 A Transect Map delineating the location of each Transect Zone and the standards for each Transect Zone has been determined through a process of recommendations of the Planning Commission and then adoption by the Leander City Council, based on the results of the TOD Charrette held January 2005 on behalf of the City, the landowners and the Capital Metropolitan Transportation Authority (the "parties") under the authority of the Agreement executed by those parties and approved by the City Council. The Transect Zones have been incorporated into the Transect

Map and this Code and the associated plans have been adopted. Projects shall be processed consistent with this Code, State law and the City Charter.

- An Urban Design Officer appointed by 1.4.3 the City Manager with the advice of the Consolidated Review Committee ("CRC") and majority of the landowners, in terms of acreage within the area depicted by the Transect Map, shall be assigned to advise on the use of this Code and to aid in the design of the communities and buildings based on this Code. To aid in his or her mission, the Urban Design Officer may establish an urban design center if the Consolidated Review Committee and/or the City/landowners provide sufficient resources. The City Manager shall designate a temporary Urban Design Officer from his or her staff until a Consolidated Review Committee is established and an Urban Design Officer is appointed by the City Manager.
- The City Manager and the City's Planning I.4.4 Department, in coordination with the landowners, shall develop a process to facilitate a Consolidated Review Committee comprised of the Urban Design Officer, City Representatives and Owner Representatives. The UDO shall coordinate with the CRC and have staff administrative jurisdiction over any processes authorized under this Code. The CRC shall expedite its reviews and advance the permitting process by undertaking any action consistent with this code, State law, and the City Charter to facilitate the permitting process under this Code.
- 1.4.5 All development within the area covered by the TOD Transect Map will be included within and approved as part of a Planned Unit Development ("PUD"). An approved PUD plan utilized for planned

unit development zoning shall meet the requirements for a Preliminary Plan (not a final plat) for subdivision and be consistent with the Transect Map and the provisions of this Code. Zoning notices and procedures shall comply with state law. The Planning Commission shall give notice, hold a public hearing and have an opportunity to make a recommendation to the City Council on each PUD submitted for approval. The City Council shall give notice, hold a public hearing and act legislatively to approve or disapprove each PUD submitted for approval within the area. The PUD Plans (Preliminary Plan) shall be presented to and approved by the Planning Commission and the City Council, and a Final Plat shall be certified for recording when the Urban Design Officer certifies that all required infrastructure and construction has been installed, and inspected and accepted by the City as constructed and installed in compliance with the applicable rules, regulations, standards and ordinances of the City. An approved Site Plan and recorded Final Plat shall be required before the issuance of a building permit.

- 1.4.6 An applicant may appeal a decision of the UDO or CRC to the City Council. The City Manager or his or her designee shall provide a written recommendation to the City Council as the appeal is processed.
- 1.4.7 Should a violation of an approved plan occur during construction, the City Manager or the Urban Design Officer has the right to require the owner or developer to stop, remove, and/or mitigate the violation, or to require the owner or developer to secure an Exception to cover the violation.

1.5 VARIANCES

- 1.5.1 There shall be two levels of variance: Warranted Variances (Warrants) and Exceptional Variances (Exceptions). Warrants and Exceptions may be granted upon the inception, that is, on the approval of a PUD Plan or an Amended PUD Plan by the City Council, after receiving the recommendation of the Planning Commission.
- 1.5.2 Warrants permit a practice that is not consistent with a specific provision of this Code, but is justified by its Intent (Section 1.2) or by hardship. Warrants may be granted administratively, upon approval of a PUD Plan or an Amended Plan by the City Council for a part of the area included within the Transect Map, through the approval of the UDO and the CRC.
- 1.5.3 Exceptions permit a practice that is not consistent with a provision nor the Intent of this Code (Section 1.2). After approval of a Community Plan as a Transect Map, and a PUD Plan or an Amended PUD Plan for the area within the Community Plan, exceptions shall be granted only by the Board of Adjustment.
- 1.5.4 A request to the Board of Adjustment for an Exception shall be considered under the same rules, process, and notice requirements as are applicable to other requests for variances with-in the City; provided that recommendations made and evidence offered by the UDC/CRC shall be given special weight and consideration.
- 1.5.5 Warrants and Exceptions shall be considered unique and shall not set precedent for others.
- 1.5.6 The following standards and requirements shall not be available for Warrants or Exceptions, except by the City Council

after notice and hearing:

- a. The maximum dimensions of traffic lanes.
- b. The required provision of alleys and rear lanes.
- c. The minimum residential densities.
- d. The permission to build ancillary apartments.
- e. The requirements of parking locations.
- 1.5.7 After receiving the recommendation of the Planning Commission, and notice and hearing, the City Council may approve an amendment to any PUD Plan.

1.6 Incentives

- 1.6.1 To encourage the use of this Code, the City Council authorizes the following incentives, to the extent authorized by city charter and state law:
 - a. Any required traffic impact analysis shall be waived.

1.7 Alternative and Savings Provisions

- 1.7.1 PUD Plans approved under this Code shall show compliance with both the subdivision plat and zoning requirements of this Code, and notice shall be given and public hearings held for zoning to satisfy the notice and public hearing requirements.
- 1.7.2 Should any section or provision of this Code be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Code as a whole or any part thereof other than the part so declared to be invalid or unconstitutional.

ARTICLE 2 *SECTOR-SCALE PLANS*

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NEW COMMUNITY-SCALE PLANS

3.1 INSTRUCTIONS

- 3.1.1 Within the area of the Transect Map, this code replaces and takes precedence over the zoning, subdivision and development standards contained in the ordinances and the Land Development Code of Leander.
- 3.1.2 Incentives for the use of this Code are listed in Section 1.6.
- 3.1.3 New Community Plans (PUD Plan) may be prepared by a landowner, a developer, or by the City, and they shall comply with this Article 3 and this Code. A "New Community Plan" means an Amendment to the Community Plan and a PUD Plan that amends the Transect Map and the PUD Plan for the area included within the TOD Transect Map.
- 3.1.4 INTENTIONALLY LEFT BLANK.
- 3.1.5 INTENTIONALLY LEFT BLANK.
- 3.1.6 New Community Plans will comply with the Transect Map and this Code, and consider surveys of existing conditions showing the site, adjacent developments, connecting thoroughfares, natural features and man-made traces. The design of the Community Plan shall respond to these existing conditions to the satisfaction of the Urban Design Officer, and the CRC once it is commissioned and appointed subject to final action by the City Council.
- 3.1.7 INTENTIONALLY LEFT BLANK.
- 3.1.8 Each Community Plan, according to its type, and responding to existing

conditions, shall be structured as one or several Pedestrian Sheds of 1/4 to 1/2 mile radii.

- 3.1.9 T-Zones and densities shall be established as specified in Sections 3.2 and Table 19, while accommodating the environmental requirements as specified in Section 3.5.
- 3.1.10 INTENTIONALLY LEFT BLANK.

3.1.11 The thoroughfare network for each PUD Plan shall be laid out according to the provisions of Section 3.6 and Tables 10A and B.

- 3.1.12 Each PUD Plan shall provide the civic requirements according to Section 3.7.
- 3.1.13 Each PUD Plan shall detail the plan using the special requirements described in Section 3.8, if applicable.
- 3.1.14 Each PUD Plan shall incorporate the incentives available according to Section 1.6, if applicable.

3.2 TRANSECT ZONES

- 3.2.1 Transect Zones shall be constituted of the elements described in Tables 3, 5 and 19, and the geographic location of the Transect Zones shall be established by the Transect Map as adopted and amended by the City Council.
- 3.2.2 The assignment of a particular Transect Zone according to the Transect Map and an approved PUD Plan entitles a parcel for functions according to Tables 12, 13A and 13B.

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3.2.3 For any given building, a residential function shall not be converted to a non-residential function until the minimum residential requirements of subsections 3.4 are satisfied. Once the minimum residential requirements are satisfied, the function of a building shall be determined according to the market, the applicable Transect Zone and applicable building codes.

3.3 Community Types [Intentionally Left Blank]

3.4 Density Calculations & Housing Mix

3.4.1 INTENTIONALLY LEFT BLANK.

- 3.4.2 The Overall Residential Minimum Density of each Project shall be calculated in terms of housing units as specified for the area of each Transect Zone by Table 19, Subsection B. For purposes of density calculation, the Transect Zone Areas include the thoroughfares but not land allocated to Civic use. If the Project contains more than one transect area, the minimum density of the predominant transect zone shall be used to calculate density.
- 3.4.3 INTENTIONALLY LEFT BLANK.
- 3.4.4 A minimum residential housing mix shall be required for each Project (For this section ONLY "Project" is defined as 20 acres or more) as follows:
 - a. TI—not applicable
 - b. T2—not applicable
 - c. T3— At least three residential types as delineated in Subsection A of Table 13, with each type at least 5% of the total units.
 - d. T4—At least four residential types as delineated in Subsection A of Table 13, with each type at least 5% of the

total units.

- e. T5—At least four residential types as delineated in Subsection A of Table 13, with each type at least 5% of the total units.
- f. T6—no minimum mix required
- 3.4.5 For the minimum residential housing mix requirement in T3, the second of three residential types required shall all be commenced by the second phase of construction, or when more than 20 acres (excluding public and trails) have been developed under the applicable Concept Plan or Preliminary Plat, whichever occurs first; and the third of three residential types required shall be commenced by the third phase of construction or when more than 40 acres gross have been developed under the applicable Concept Plan or Preliminary Plat, whichever occurs first.
- 3.4.6 For the minimum residential housing mix requirement in T4 and T5, the second of four residential types required shall all be commenced by the second phase of construction, or when more than 20 acres (excluding public and trails) have been developed under the applicable Concept Plan or Preliminary Plat. whichever occurs first; and the third and fourth of four residential types required shall be commenced by the third phase of construction or more than 40 acres gross have been developed under the applicable Concept Plan or Preliminary Plat, whichever occurs first.
- 3.4.7 Project applicants may jointly apply with adjacent project applicants to satisfy the minimum residential density and housing mix requirements. If the single-applicant or joint-applicant Project Area exceeds the area of the predominant Pedestrian Shed, the minimum residential housing density and housing mix requirement shall be met within each Pedestrian Shed in which

the single- or joint-applicant Project is located.

3.5 Environmental Requirements

- 3.5.1 General
 - a. Transect Zones manifest a range of natural and urban conditions. In case of conflict, the natural environment shall have priority in the more rural zones (TI-T3); and the built environment shall have priority in the more urban zones (T4-T6), as long as creek and flood plain considerations are processed according to applicable state and federal law.
 - b. There shall be three classes of Waterways: Class I Perennial, Class II Intermittent, and Class III Ephemeral, each generating a Streamside Corridor subject to a standard for crossing and protection of its riparian condition as specified below for each Transect Zone.
 - c. There shall be three classes of Wetland: Class I Connected, Class II Isolated, and Class III Xeric, each subject to a standard of restoration, retention and mitigation as specified below for each Transect Zone.

3.5.2 Specific to Natural and Rural Zones (TI-T2)

- a. Within TI and T2 Zones the encroachment and modification of natural conditions, shall be limited according to Local, State and Federal guidelines.
- b. The Riparian Corridors of Class I and II Waterways shall be 300 feet in width each side, and Class III Waterways shall be 100 feet in width each side. Riparian Corridors shall be maintained free of structures or

other modifications to the natural landscape, including agriculture. Thoroughfare crossings shall be allowed by Exception only. Utility crossings, pond outlet/water quality structures and trails shall be allowed by Warrant.

- c. Class I, II and III Wetlands shall be retained and restored if in degraded condition. An additional buffer shall be maintained at 100 ft for class I and II. Wetland buffers shall be free of structures or other modifications to the natural landscape, including agriculture; except structures necessary for water quality. Thoroughfare crossings shall be allowed by Exception only.
- d. The Public Frontage (Tables 8 and 19, Subsection D) shall include trees of various species, naturalistically clustered, as well as understory, in accordance with Tables 16A and 16B, the plant palette. The introduced landscape shall consist primarily of native species requiring minimal irrigation,fertilization and maintenance (Tables 8B, 16A and 16B).
- e. Impermeable surface shall be minimized and confined to the ratio of lot coverage by building specified in Table 19, Subsection F.
- f. Storm water management on thoroughfares shall be primarily through retention and percolation, channeled by curbside swales. A pond may be required for a concentrated flow.
- 3.5.3 Specific to Sub-Urban Zones (T3)
 - a. Within T3 Zones the continuity of the urbanized areas shall be subject to the precedence of the natural environmental conditions. The alteration of such conditions shall be

limited according to Local, State and Federal guidelines.

- b. The Riparian Corridors of Classes I and II Waterways shall be 100 feet in width. These Riparian Corridors shall be maintained free of structures, except that Thoroughfare crossings may be allowed by Warrant. Class III Waterways may be modified by Warrant. Utility crossings, pond outlet/water quality structures and trails shall be allowed by Warrant. All modifications of "waters of the U.S." and stream beds must be consistent with State and Federal law.
- c. Class I, II and III Wetlands shall be retained and restored if in degraded condition. Additional buffers shall be maintained at 50 feet for Class I and II Wetlands. Buffers shall be free of structures or other modifications the natural landscape, except to quality. necessary for water as Thoroughfare crossings may be allowed by Exception.
- d. The Public Frontage (Tables 8 and 19, Subsection D) shall include trees of various species, naturalistically clustered, as well as low maintenance understory. The introduced landscape shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance (Tables 8B, 16A and 16B).
- e. Impermeable surface shall be minimized and confined to the ratio of lot coverage by building specified in Table 19, Subsection F.
- f. Storm water management on thoroughfares shall be primarily through storm sewer and curbed streets.

3.5.4 Specific to General Urban Zones (T4)

a. Within T4 Zones the continuity of the

urbanized areas should take precedence over the natural environmental conditions, consistent with State and Federal law. The alteration of such conditions, where necessary, may be mitigated off-site. The determination for modification and mitigation shall be made by Warrant.

- b. Riparian Corridors of all classes of Waterways may be crossed by thoroughfares as required by the thoroughfare network.
- c. Class I and II Wetlands shall be retained and maintained free of structures or other modifications to the natural landscape. Thoroughfare crossings may be allowed by Warrant.
- d. The Public Frontage (Tables 8A and 19, Subsection D) shall include trees planted in a regularly-spaced allee pattern of single or alternated species with shade canopies of a height that, at maturity, clears three stories but remains predominantly clear of building frontages. The introduced landscape shall consist primarily of durable species tolerant of soil compaction (Tables 8B, 16A and 16B).
- e. Impermeable surface shall be confined to the ratio of lot coverage by building, as specified in Table 19, Subsection F.
- f. Storm water management on thoroughfares and lots shall be primarily through underground storm drainage channeled by raised curbs. There shall be no retention or detention required on the individual lots unless regional options are unavailable. If regional options are unavailable, temporary detention and retention may be required.
- 3.5.5 Specific to Urban Center Zones (T5)

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- a. Within T5 Zones the continuity of the urbanized areas shall take precedence over natural environmental conditions. The alteration of such conditions, where necessary, may be mitigated off-site. The determination shall be made by Warrant.
- b. The Riparian Corridors of all classes or Waterways may be embanked and crossed by thoroughfares as required by the thoroughfare network.
- c. Class I and II Wetlands may be modified if mitigated off-site at a two to one ratio. Thoroughfare crossings shall be allowed by Right.
- d. The Public Frontage (Tables 8A and 19, Subsection D) shall include trees planted in allees of a single species with shade canopies of a height that, at maturity, clears three stories, but remains predominantly clear of building frontages. The introduced landscape shall consist primarily of durable species tolerant of soil compaction (Tables 8B, 16A and 16B).
- e. Impermeable surface shall be confined to the ratio of lot coverage, as specified in Table 19, Subsection F.
- f. Storm water management shall be primarily through underground storm drainage channeled by raised curbs. There shall be no retention or detention required on the individual lot unless regional options are unavailable. If regional options are unavailable, temporary detention or retention may be required, if feasible.

3.5.6 Specific to Urban Core Zones (T6)

a. Within T6 Zones the continuity of the urbanized areas shall take precedence over the natural environmental conditions. The alteration of such conditions, where necessary, shall not require off-site mitigation. The determination shall be made by Warrant.

- b. The Riparian Corridors of all classes of Waterways may be embanked and crossed by Right or enclosed by thoroughfares as required by the thoroughfare network.
- c. Class I and II Wetlands may be altered by Right not requiring off-site mitigation. Thoroughfare crossings shall be allowed by Right.
- d. The Public Frontage (Tables 8A and 19, Subsection D) shall include trees planted in allees of a single species with shade canopies of a height that, at maturity, clears three stories but remains predominantly clear of building frontages. The new landscape shall consist primarily of durable species tolerant of soil compaction (Tables 8B, 16A and 16B).
- e. Impermeable surface shall be confined to the ratio of lot coverage by building, as specified in Table 19, Subsection F.
- f. Storm water management shall be primarily through underground storm drainage channeled by raised curbs. There shall be no retention and detention required on the individual lot. If regional options are unavailable, temporary detention or retention may be required, if feasible.

3.6 Streetscape Requirements

- 3.6.1 General
 - a. The thoroughfares are intended for use by vehicular and pedestrian traffic and to provide access to lots and open spaces.
 - b. The thoroughfares consist of vehicular lanes and public frontages (Table 11,

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Subsection A). The lanes provide the traffic and parking capacity. They consist of vehicular lanes in a variety of widths for parked and for moving vehicles. The frontages contribute to the character of the Transect Zone. All frontages shall include the appropriate types of sidewalk, curbing, planter, and street trees.

- c. Thoroughfares shall be designed in context with a walkable urban form and modified according to the transect zones in which they pass. Design speed should be the first quantitative criterion and capacity considered secondarily. Thoroughfares that pass from one Transect Zone to another shall adjust their Public Frontages accordingly or, alternatively, the Transect Zone may follow the alignment of the thoroughfare to the depth of one lot, retaining a single public frontage throughout its trajectory.
- d. Within the more rural Zones (TI through T3) pedestrian comfort shall be a secondary consideration of the thoroughfare. Design conflict between vehicular and pedestrian movement shall be generally decided in favor of vehicular mobility.
- e. Within the more urban Transect Zones (T4 through T6) pedestrian comfort shall be a primary consideration of the thoroughfare. Design conflict between vehicular and pedestrian movement shall be decided in favor of the pedestrian.

3.6.2 THOROUGHFARES

- a. The standards for vehicular lanes shall be as shown in Tables 10A, 10B and 10C.
- b. The thoroughfare network shall be designed to define blocks not exceeding the size prescribed in Table

19, Subsection C. The block perimeter shall be measured as the sum of the block faces from the thoroughfare right-of-way centerline to centerline.

- c. All thoroughfares shall terminate at other thoroughfares, forming a network. Internal thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be permitted only when Warranted by natural site conditions. At every termination point of a street, or where it makes a ninety degree turn (plus or minus fifteen degrees), the thoroughfare shall terminate on a building or vertical element in order to establish a terminated vista, unless the street terminates into a park, a monumented trail or natural area.
- d. Lots shall enfront a vehicular Thoroughfare, except that 20% of the lots within each Transect Zone may enfront a pedestrian passage.
- e. Thoroughfares along a designated Secondary Grid (Section 3.8.1a) may be exempted from the specified frontage requirements.
- f. A bicycle network consisting of trails, routes and lanes should be provided throughout as defined in Section 7.1 and allocated in Table 19, Subsection D. The community bicycle network should be connected to existing or proposed sector networks wherever possible.

3.6.3 Public Frontages

- a. Public frontages shall be designed as shown in Tables 8A, 8B and allocated within Transect Zones as specified in Table 19, Subsection D.
- b. Within the public frontages, the prescribed type of street trees and street lights shall be as shown in Tables 8A, 8B, 15, 16A and 16B. The

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spacing may be adjusted by Warrant to accommodate specific site conditions, such as building entrances.

- 3.6.4 Specific to Districts
 - a. The standards for thoroughfares and public frontages within districts shall be determined by Warrant.

3.7 CIVIC FUNCTIONS

3.7.1 General

- a. Certain places for public use shall be required for each community and designated on the Community Plans as Civic Space (CS) and Civic Buildings (CB).
- b. Civic Spaces are public sites permanently dedicated to open space.
- c. Civic Buildings are sites dedicated for buildings generally operated by notfor-profit organizations dedicated to culture, education, government, transit and municipal parking, or for a use approved by the City.

3.7.2 Civic Space (CS) Specific to T3-T6 Zones

- a. Each Project shall assign at least 5% of area to Civic Space, unless joint-applicants assign at least 5% total Project Area to Civic Space within a particular Pedestrian Shed.
- b. Civic Spaces shall be designed as generally described in Table 18 and approved by the Urban Design Officer and the CRC and allocated to Transect zones as described in Table 19, Subsection E.
- c. Each Pedestrian Shed shall contain at least one Main Civic Space. The Main Civic Space shall be within 800 feet of the geographic center of each Pedestrian Shed, unless topographic conditions, pre-existing Thoroughfare alignments or other circumstances Warrant otherwise.

- d. A Civic Space designed and equipped as a playground shall be provided within 800 feet for at least 75% of the residential units within the Pedestrian Shed.
- e. Each Civic Space shall have a minimum of 50 % of its perimeter enfronting a Thoroughfare.
- f. Civic Spaces may be permitted within Districts by Warrant.
- 3.7.3 Civic Buildings (CB) Specific to T3-T6 Zones
 - a. The applicant shall provide a Meeting Hall or a Third Place in proximity to the Main Civic Space of each Pedestrian Shed. Its corresponding public frontage shall be equipped with a shelter and bench for a transit stop once transit service commences. If a Pedestrian Shed is owned by more than one landowner, joint-applicants shall provide a Meeting Hall or Third Place.
 - b. One Civic Building lot shall be reserved for an elementary school. Its area shall be [I acre] for each increment of [I00] dwelling units provided by the Community Plan. The school site may be within any Zone. The playing fields should be outside the Pedestrian Shed.
 - c. One Civic Building lot suitable for a childcare building shall be reserved within each Pedestrian Shed. The Landowner/Developer or the City may organize, fund and construct an appropriate building as the need arises.
 - d. Civic Building sites shall not occupy more than 20% of the area of each Pedestrian Shed.
 - e. Civic Building sites should be located within or adjacent to Civic Spaces, or at the axial termination of significant

Thoroughfares.

- f. Civic Buildings shall not be subject to the standards of Section 5. The particulars of the design of Civic Buildings shall be approved by Warrant by the CRC.
- g. Parking for Civic Buildings shall be adjusted by Warrant.
- h. Civic Buildings may be permitted within Districts by Exception.
- 3.7.4 Civic Functions Specific to t1 & t2 Zones
 - a. Civic buildings and spaces related to education, recreation and culture may be erected within TI Natural and T2 Rural Zones by Exception.

3.8 Special Requirements

- 3.8.1 A Community Plan may designate the following special requirements:
 - a. A differentiation of the Thoroughfares as a Primary-Grid and a Secondary-Grid. Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Exceptions allowing automobile-oriented standards. The frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.
 - b. A designation for Mandatory or Recommended Retail Frontage requiring that a building provide a shopfront at sidewalk level along the entire length of the frontage. The shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to

retail use through the depth of the First Layer.

- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.
- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
- g. A designation of Buildings of Value, requiring that such buildings and structures may be altered or demolished only when in accordance with municipal preservation standards and protocols established by ordinance.

EXISTING COMMUNITY-SCALE PLANS

4. I INSTRUCTIONS

- Within Old Town the Planning 4.I.I Department may prepare or have prepared on its behalf, Community Plans to guide further development within Old Town. The Transect Map for the Transportation Oriented District includes, and shall be in effect for, Old Town (as defined in section 4.6.7), subject to section 4.6.7. A Community Plan/PUD Plan for Old Town shall comply with the requirements of this Article.
- 4.1.2 Community Plans and Transect Maps, shall be prepared in a process of public consultation and approved by the City Council upon recommendation by the Planning and Zoning Commission. A Community Plan is the basis of a Transect Map. The Community Plans shall constitute an amendment to the Comprehensive Plan of the City.
- 4.1.3 A Community Plan for an established, developed area ("Existing Community Plan") shall identify and assign Transect Zones and Civic Functions within each community type as described in Section 4.4 with detailed provisions for site and building development as described in Section 5.
- 4.1.6 Community Plans/Transect Maps should consist of two maps: The first shows the Downtown, the Neighborhoods and the Districts with their various Transect Zones;

the second map, if necessary, assigns the Special Requirements as provided in Section 4.5. One map may be utilized if there are no special requirements and only delineating thoroughfare and pedestrian shed information.

- 4.1.7 It is the intent of this Code that twenty years after the approval of the Community Plan, each Transect Zone shall become the next successional (next higher) Transect Zone, subject to City Council approval.
- 4.1.8 A landowner may submit a PUD Plan as provided in section 4.2.7.

4.2 TRANSECT ZONES

- 4.2.1 Community Plans shall consist of Transect Zones as described in Tables 3, 5 and 19.
- 4.2.2 The assignment of a particular Transect Zone according to the Transect Map and an approved PUD Plan entitles a parcel for functions according to Tables 12, 13A and 13B.

4.3 COMMUNITY TYPES

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4.4 CIVIC FUNCTIONS

- 4.4.1 GENERAL
 - a. Community Plans shall designate, or allow by variance, Civic Space (CS) and Civic Building Functions (CB).
 - b. Civic Functions may be Warranted so long as they do not occupy more

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than a total of 20% of the area of each Pedestrian Shed. A Civic Function requiring more than 20% of the Pedestrian Shed shall be subject to the creation of a Specialized District with its own standards, to be coordinated on Table 20.

- c. Parking for Civic Functions shall be determined by Warrant.
- 4.4.2 Civic Space (CS)
 - a. Civic Space may be approved by Warrant.
 - b. Civic Spaces shall be generally designed as described in Table 18.

4.4.3 CIVIC BUILDINGS (CB)

- a. CB types shall be approved by Exception for sites reserved for civic buildings.
- b. Civic Buildings shall not be subject to the Requirements of Section 5. The particulars of their design shall be determined by Exception.

4.5 Special Requirements

- 4.5.1 A Community Plan may be amended as an amendment to the Comprehensive Plan and designate the following special requirements:
 - a. A differentiation of the Thoroughfares as a Primary-Grid and a Secondary-Grid. Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Exceptions allowing automobile-oriented standards. The frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.
 - b. A designation for Mandatory or Recommended Retail Frontage requiring that a building provide a

shopfront at sidewalk level along the entire length of the frontage. The shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to retail use through the depth of the First Layer.

- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.
- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
- g. A designation of Buildings of Value, requiring that such buildings and structures may be altered or demolished only when in accordance with this Code.

4.6 Pre-existing Conditions

4.6.1 Existing buildings that do not conform to the provisions of this Code may continue in use as they are until a Substantial Modification is requested, at which time the Consolidated Review Committee (CRC) shall determine the provisions of this Section that shall apply.

- 4.6.2 Existing buildings, that when renovated less than 50% and have at any time received a certificate of occupancy, shall not require upgrade to the current Building Code and may meet the standards of the Code under which they were originally permitted.
- 4.6.3 The modification of existing buildings is permitted by right if such changes result in greater conformance with the specifications of this Section.
- 4.6.4 Where buildings exist on adjacent lots, the Planning Department may require that a proposed building match one or the other of the adjacent setbacks and heights rather than the provisions of this Code.
- 4.6.5 Addition or modification of a building of actual or potential historic value shall be approved by Exception. The architectural harmony (similar materials, window proportions, color range, mass/void ratio, roof type and pitch) of the addition or modification to the original structure shall be a condition of approval.
- 4.6.6 The restoration or rehabilitation of an existing building shall not require the provision of parking nor on-site stormwaterretention/detentioninaddition to that existing.
- 4.6.7 OLD TOWN/ORIGINAL TOWN. This section is applicable only to land that is located within both the boundaries of the Comprehensive Plan and Transect Map for the Transportation Oriented District and the Old Town, Original Town Mason's, Atkins' or Walker's Additions (collectively "Old Town"). The following shall control within Old Town:
 - a. Individual, legally platted plots within OldTown may be developed, occupied and used in compliance with the underlying or prior zoning, and the subdivision and related development

ordiances that are applicable from time to time to areas of the City that are outside the boundaries of the Comprehensive Plan and Transect Map for the Transportation Oriented District (the "General Development Ordinances"). In this section, "underlying" or "prior" zoning means the zoning district of that land prior to the adoption of this Code as ammended.

- b. Up to four legally platted lots, or portions there of, may be combined into a site plan for a development, occupancy and use pursuant to the General Development Ordinances.
- c. Unplatted land zoned by the City prior to the date of this Code may be developed in compliance with the General Development Ordinances.
- d. Unplatted land without permanent zoning effective prior to the date of this Code, may be developed only in compliance with this Code and the Transect Map.
- e. Legally platted lots and uplatted land with existing zoning may, alternatively at the owner's option, be developed in compliance with this Code for any permitted function/use authorized within the Transect Zone in which the land is located, provided such use is not inconsistent with the underlying zoning. If the development includes four or less legally platted lots the staff may approve a compliant site plan for such lots. If more than four lots, or unplatted land, are included in the proposed development, the owner/ developer shall be required to make application and obtain approval of the required plat and Planned Unit Development under this Code.
- f. Administrative staff shall prepare a

form, or forms, that may be used to rezone property that is zoned for single family occupancy on the effective date of this Code. The form(s) shall be available for use by property owners seeking to rezone four or more single family zoned lots to Planned Use Development. The form(s) shall make provision for the attachment of an accurate sketch showing the location of all proposed driveways, buildings and other facilities, together with proposed functions, necessary to meet the requirements of this Code. The sketch shall be generally to scale but not be required to be prepared by an architect or engineer.

ARTICLE 5 *BUILDING-SCALE PLANS*

5.1 INSTRUCTIONS

- 5.1.1 Lots and buildings located within a Community Plan/PUD Plans subject to this Code and previously approved by the City shall be subject to the requirements of this section.
- 5.1.2 The applicant, a landowner or a developer, may submit site and building plans.
- 5.1.3 Site Plans shall be required before the issuance of a Building Permit. Site Plans may be approved by the UDO and the CRC. The building codes, e.g., plumbing, electrical, housing, fire, etc., governming construction of buildings shall be and remain in effect within the areas included in the Transect Map.
- 5.1.4 The requirements described in this Section shall control the disposition, configuration and function of buildings, as well as their functional architectural, landscape, parking, signage, ambient and visitability standards. Special Requirements that appear on the Community Plan shall be mandatory.
- 5.1.5 The Site Plan submittals shall show the following, in compliance with the standards described in Article 5:
 - · building disposition
 - building configuration
 - building function
 - parking standards
 - functional architectural standards as required in this Code

- landscape standards
- signage standards
- ambient standards
- visitability standards

The City Manager and the UDO may require additional information consistent with this Code through the issuance of a criteria manual.

5.2 GENERAL TO ALL ZONES

- 5.2.1 GENERAL BUILDING DISPOSITION
 - a. Lots shall be dimensioned as shown graphically on the Community Plan and/or according to the standards of Tables 19 Subsections F, G and H.
 - b. One principal building at the frontage and one outbuilding to the rear may be built on each lot as shown in Table 11, Graphic C. A backbuilding may be built between the principal building and the outbuilding on the sidefrontage of corner lots as shown in Table 11, Graphic C.
 - c. Buildings shall be disposed in relation to the boundaries of their lots according to Table 17 and Tables 19 Subsections G and H.
 - d. Lot coverage by building shall not exceed that shown in Table 19, Subsection F.
 - e. Facades shall be built parallel or tangent to the principal frontage line. For lots having two frontages, the

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one along the more urban frontage as shown in Tables 8A and 8B of the two shall be the principal frontage unless otherwise determined by Warrant.

- f. Setbacks for principal buildings shall be as shown in Table 19, Subsection G. In the case of an infill lot, setbacks shall match one or the other of the existing adjacent setbacks. Setbacks may be otherwise adjusted by Warrant.
- g. Rear setbacks for outbuildings shall be a minimum of 15 feet measured from the centerline of the alley or rear lane easement. In the absence of rear alley or lane, the rear setback shall be as shown in Table 19, Subsection G.
- h. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a setback. Open porches and awnings may encroach up to 50% of the depth of the required setback. Balconies and bay windows may encroach up to 25% of the depth of the required setback.
- i. Loading docks and service areas shall be permitted on frontages only by Warrant.
- 5.2.2 GENERAL BUILDING CONFIGURATION
 - a. Private Frontage types shall be as described in Table 7 and allocated in Table 19, Subsection I.
 - b. Building heights shall be as described in Table 9 and allocated in Table 19, Subsection J.
- 5.2.3 GENERAL BUILDING FUNCTION
 - a. Buildings in each Transect Zone may be dedicated to functions described for that zone in Tables 13A and 13B. Functions not shown but substantially similar to other functions permitted in the respective Transect Zone may be approved by Warrant. Functions

not substantially similar to permitted functions may be authorized only by zoning amendment. The assignment of a particular Transect Zone according to the Transect Map and an approved PUD Plan entitles a parcel for functions according to TABLES 12, 13A AND 13B. For any given building, a residential function shall not be converted to a non-residential function until the minimum residential requirements of SECTION 3.4 are satisfied. Once the minimum residential requirements are satisfied, the functions of a building shall be determined according to the market, the applicable Transect Zone and applicable building codes.

- b. The Functions specified in Table 12 shall be limited in Intensity by the Actual Parking available to meet the Parking Standards (Table 14). This shall constitute the Base Density.
- c. The Maximum Density may be adjusted upward by adding the Actual Parking available for each of two functions within any pair of adjacent blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 14). The result shall be the Effective Parking available for calculating the Adjusted Density.
- d. Within the Pedestrian Shed(s) that include Capital Metro rail stops (measured approximately one-half mile from the rail stop), the effective parking available for calculating the intensity on each lot may be increased by a multiplier of thirty percent (30%).
- 5.2.4 GENERAL PARKING STANDARDS
 - a. Vehicular parking shall be provided as required and adjusted for mixeduse as shown in Tables 12 and 14.

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- b. On-street parking available along the frontage lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
- c. Parking shall be accessed by the alley or rear lane, when such are available on the Community Plan.
- d. The required parking may be provided on the same block as the building function or an adjacent block. The required parking may be provided within one-eighth mile of the site that it serves by Warrant. The required parking may be purchased or leased from a shared parking lot or a Civic Parking Reserve within a one-quarter mile of the site that it serves.
- e. Parking shall be located within Lot Layers as described in the Specific Sections 5.4 through 5.7 below, and shown in Table 11, Graphic d.
- f. Parking lots shall be masked from the frontage by a liner building or Streetscreen as specified in Sections 5.4 through 5.7 below.
- g. Within Zones T4, T5 and T6 a minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- h. Maximum Parking Ratios may be established by the Urban Design Officer or the CRC once it is commissioned and appointed.
- 5.2.5 GENERAL ARCHITECTURAL STANDARDS
 - a. Building wall materials may be combined on each facade only horizontally, with the heavier below the lighter.
 - b. Streetscreens shall be made of brick, stone or stucco on block or other material to match the facade of the

Principal Building as shown in Table 11, Graphic c.

- c. Windows shall use clear glass.
- d. All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
- e. Openings above the first story shall not exceed 50% of the total building wall area, with each facade being calculated independently.
- f. The facades on Retail Frontages shall be detailed as storefronts and glazed with no less than 70% of the sidewalklevel story.
- g. Doors and windows that operate as sliders are prohibited along frontages.
- h. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porch and attached shed roofs may be no less than 2:12.
- i. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the Urban Design Officer or the CRC once it is commissioned and appointed.
- j. See Table 21 for illustrated required standards on Walls & Massing, Doors & Windows, Roofs, and Attachments.
- 5.2.6 General Environmental Standards
 - a. Transect Zones manifest a range of responses to natural and urban conditions. In case of conflict, the natural infrastructure shall have priority in the more rural zones (TI-T3); and the urban infrastructure shall have priority in the more urban zones (T4-T6) as detailed in the Sections 5.3 and following.
- 5.2.7 GENERAL LANDSCAPE STANDARDS
 - a. A minimum of one tree to match the species of street trees on the Public

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Frontage shall be planted within the First Layer Private Frontage for each 30 feet of frontage line as illustrated in Tables 7, 8A, 8B, and 11 Graphic d.

- b. Street trees shall be of a type illustrated in Table 16A.
- c. Specific plantings allowed shall be determined by Table 16B, the Plant Palette.
- 5.2.8 General Signage Standards
 - a. One address number no more than 6 inches vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
 - b. One blade sign for each business may be permanently installed perpendicular to the facade. Such a sign shall not exceed a total of 4 square feet unless otherwise specified in Sections 5.4 and following.

c. Signage may be lit externally only with full-spectrum source, unless otherwise specified.

- 5.2.9 GENERAL AMBIENT STANDARDS
 - a. Sound levels shall not exceed: 65 decibels by day and 55 decibels after sunset in Zones T1 through T4; and 70 decibels by day until 1:00 a.m. and 55 decibles after 1:00 a.m. in Zones T5 and T6.
 - b. Average lighting levels measured in foot-candles at the building frontage shall not exceed 1.0 fc at T1 through T3 zones; 2.0 fc at the T4 Zones; 5.0 fc at T5 Zones and 20 fc at T6 Zones.
 - c. Streetlights shall be of a general type illustrated in Table 15.
 - d. Outdoor storage shall be screened from view from any frontage by a Streetscreen in conformance with Section 5.2.5.
- 5.2.10 GENERAL VISITABILITY STANDARDS
 - a. There shall be provided one zero-step

entrance to each building from an accessible path at the front, side, or rear of each building.

- b. All the first floor interior doors (including bathrooms) shall provide 32 inches of clear passage.
- c. There shall be a half or full bathroom provided on the first story of each building.

5.3 Specific To Natural And Rural Zones (T1 & T2)

5.3.1 Buildings in TI and T2 Zones shall be limited. Permission to build and the standards for disposition, configuration, function, parking, architectural, environmental, ambient and visitability shall be determined concurrently as Exceptions when the PUD Plan is submitted to the City Council.

5.3.2 ENVIRONMENTAL STANDARDS. The modification of the natural conditions shall be according to Local, State and Federal guidelines.

5.4 Specific To Sub-urban Neighborhood Zones (t3)

- 5.4.1 (T3) BUILDING DISPOSITION
 - a. In addition to the general specifications in Section 5.2.1, specific building disposition shall be as shown in Tables 17, and 19 Subsection F, G & H.
- 5.4.2 (T3) BUILDING CONFIGURATION
 - a. In addition to the general specifications of Section 5.2.2, specific building configuration shall be as shown in Table 17, and summarized in Tables 19, Subsections H, I & J.
- 5.4.3 (T3) BUILDING FUNCTION
 - a. In addition to the general specifications of Section 5.2.3, specific building function shall be as shown in Tables 12, 13, and 14, and summarized in

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- Table 19, Subsection K.
- b. Agricultural uses shall be permitted by Warrant.
- 5.4.4 (T3) PARKING STANDARDS
 - a. In addition to the general specification shown in Section 5.2.4, parking shall be provided as specified in Table 14.
 - b. Open parking areas shall be located at the Second and Third Lot Layers, except that driveway aprons and drop-offs may be located at the First Layer. Garages shall be located at the Third Layer as illustrated in Table 11, Graphic d.
 - c. Parking may be accessed from the frontage by means of a driveway.
- 5.4.5 (T3) ARCHITECTURAL STANDARDS
 - a. In addition to the general specifications shown in Section 5.2.5, specific standards shall be as follows:
 - b. The exterior finish material on all facades shall be limited to brick, stone, wood siding, cementatious fiber clapboard, and/or stucco.
 - c. Balconies and porches shall be made of painted wood or a material approved by the Urban Design Officer or the CRC.
 - d. Buildings shall have sloped roofs.
 - e. Fences, if provided, shall be at the Frontage Line as illustrated in Table II, Graphic e. Fences at Lot Lines may be of painted wood board or wrought iron.
- 5.4.6 (T3) ENVIRONMENTAL STANDARDS
 - a. In addition to the general specifications shown in Section 5.2.6, the landscape installed shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance.
 - b. Impermeable surface by building shall be minimized and confined to the ratio of lot coverage by building

shown in Table 19, Subsection F.

- c. The management of storm water shall be primarily through retention and percolation on the individual lot or through swales in the public frontage.
- 5.4.7 (T3) LANDSCAPE STANDARDS
 - a. In addition to the general specifications in Section 5.2.7, the First Lot Layer as shown in Table 11, Graphic d shall consist of trees of various species, naturalistically clustered consistent with Table 16B, the Plant Palette, as well as low maintenance understory.
- 5.4.8 (T3) SIGN STANDARDS
 - a. There shall be no signage permitted additional to that specified in Section 5.2.8.
 - b. Signage may not be lit.

5.5 Specific To Neighborhood General Zones (t4)

- 5.5.1 (T4) BUILDING DISPOSITION
 - a. In addition to the general specifications in Section 5.2.1, specific building disposition shall be as shown in Tables 17, and 19 Subsections F, G & H.
- 5.5.2 (T4) BUILDING CONFIGURATION
 - a. In addition to the general specifications of Section 5.2.2, specific building configuration shall be as shown in Table 17, and summarized in Tables 19, Subsections H, I & J.
- 5.5.3 (T4) Building Function
 - a. In addition to the general specifications of Section 5.2.3, specific building function shall be as shown in Tables 12, 13A, 13B, and 14, and summarized in Table 19, Subsection K.
 - b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.
- 5.5.4 (T4) PARKING STANDARDS

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- a. In addition to the general specification shown in Section 5.2.4, parking shall be provided as specified in Table 14.
- All parking areas except for driveways shall be located at the Third Layer as illustrated in Table 11, Graphic d. Garages shall be at the Third Layer.
- c. Parking shall be accessed from a rear alley or rear lane.
- 5.5.5 (T4) Architectural Standards
 - a. In addition to the general specifications shown in Section 5.2.5, specific standards shall be as follows:
 - b. The exterior finish materials on all facades shall be limited to brick, stone, wood or cementatious fiber clapboard, and/or stucco.
 - c. Balconies and porches shall be made of painted wood or metal or a material approved by the Urban Design Officer or the CRC.
 - d. Buildings shall have sloped roofs.
 - e. Fences, if provided, shall be within the First Lot Layer as illustrated in Table 11, graphic d, and made of painted wood board or wrought iron. Fences at other Layers may be of painted wood board or chain link.
- 5.5.6 (T4) Environmental Standards
 - a. In addition to the general specifications shown in Section 5.2.6, the species of landscape installed shall consist primarily of durable species tolerant of soil compaction in accordance with Table 16B.
 - b. Impermeable surface by building shall be confined to the ratio of lot coverage as shown in Table 19, Subsection F.
 - c. Management of storm water shall be primarily off-site through underground storm drainage or other regional facilities. There shall be no retention or detention required on the individual lot unless regional options

are unavailable. If regional options are unavailable, temporary detention and retention may be required.

- 5.5.7 (T4) LANDSCAPE STANDARDS
 - a. In addition to the general specifications in Section 5.2.7 the First Lot Layer as shown in Table 11, Graphic d shall be planted with trees of species matching the planting on the public frontage as shown in Table 8 and in accordance with Tables 16A and 16B, the plant palette. Lawns shall be permitted.
- 5.5.8 (t4) Sign Standards
 - a. There shall be no signage permitted additional to that specified in Section 5.2.8.

5.6 Specific To Neighborhood Center Zones (T5)

- 5.6.1 (T5) Building Disposition
 - a. In addition to the general specifications in Section 5.2.1, specific building disposition shall be as shown in Tables 17 and 19 Subsections F, G & H.
 - b. Facades shall be built parallel to the principal frontage line along a minimum of 70% of its length on the setback shown in Table 19, Subsection G. In the absence of a building along the remainder of the frontage line, a Streetscreen shall be built co-planar with the facade.
 - c. Buildings shall have their principal pedestrian entrances on a frontage line.
- 5.6.2 (T5) Building Configuration
 - a. In addition to the general specifications of Section 5.2.2, specific building configuration shall be as shown in Table 17, and summarized in Table 19, Subsections H, I & J.
 - b. A first level residential or lodging function shall be raised a minimum of

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2 feet from average sidewalk grade.

- 5.6.3 (T5) BUILDING FUNCTION
 - a. In addition to the general specifications of Section 5.2.3, specific building function shall be as shown in Tables 12, 13A, 13B and 14, and summarized in Table 19, Subsection K.
 - b. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.
 - c. First story commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
 - d. Manufacturing within the first story may be permitted by Exception.

5.6.4 (T5) PARKING STANDARDS

- a. In addition to the general specification shown in Section 5.2.4, parking shall be provided as specified in Table 14.
- b. All parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Liner Building as shown in Table 11, Graphic d.
- c. Parking shall be accessed from a rear alley.
- d. The required parking may be provided on sites elsewhere within the same Pedestrian Shed by Warrant.
- e. Pedestrian entrances to all parking lots and parking structures shall be directly from a frontage line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
- f. The vehicular entrance of a parking lot or garage on a frontage shall be no wider than 30 feet.

5.6.5 (T5) Architectural Standards

- a. In addition to the general specifications shown in Section 5.2.5, specific standards shall be as follows.
- b. The exterior finish materials on all facades shall be limited to stone, brick

and/or stucco.

- c. Balconies, galleries and arcades shall be made of concrete, painted wood, metal, or a material approved by the Urban Design Officer or the CRC.
- d. Buildings may have flat roofs enclosed by parapets or sloped roofs.
- e. Streetscreens shall be located coplanar with the building facade line as shown in Table 11, Graphic d.
- 5.6.6 (T5) Environmental Standards
 - a. In addition to the general specifications shown in Section 5.2.6, the landscape installed shall consist primarily of durable species tolerant of soil compaction in accordance with Table 16B, the plant palette.
 - b. Impermeable surface by building shall be confined to the ratio of lot coverage as shown in Table 19, Subsection F.
 - c. Management of storm water shall be primarily off-site through underground storm drainage or other regional facilities. There shall be no retention or detention required on the individual lot unless regional options are unavailable. If regional options are unavailable, temporary detention and retention may be required.
- 5.6.7 (T5) LANDSCAPE STANDARDS
 - a. In addition to the general specifications in Section 5.2.7, the First Layer as shown in Table 11D shall be landscaped in accordance with Table 16B, the plant palette, or paved to match the enfronting Public Frontage as shown in Table 8.
 - b. Trees shall be a species with shade canopies that, at maturity, remain clear of building frontages in accordance with Tables 16A and 16B, the plant palette.
- 5.6.8 (T5) SIGNAGE STANDARDS
 - a. In addition to the signage permitted

5*BUILDING-SCALE PLANS

in Section 5.2.8, a single external sign band may be applied to the facade of each building, providing that such sign not exceed 3 feet in height by any length.

- b. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached perpendicular to the facade.
- c. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.
- 5.7 Specific To Urban Core Zones (T6)
- 5.7.1 (T6) BUILDING DISPOSITION
 - a. In addition to the general specifications in Section 5.2.1, specific building disposition shall be as shown in Tables 17 and 19 Subsections F, G & H.
 - b. Facades shall be built parallel to the principal frontage line along a minimum of 70% of its length on the setback shown in Table 19, Subsection G. In the absence of building along the remainder of the frontage line, a streetscreen shall be built co-planar with the facade.
 - c. Buildings shall have their principal pedestrian entrances on a frontage line.
- 5.7.2 (T6) Building Configuration
 - a. In addition to the general specifications of Section 5.2.2, specific building configuration shall be as shown in Table 17, and summarized in Table 19, Subsections H, I & J.
 - b. A first level residential function shall be raised a minimum of 2 feet from average sidewalk grade.

5.7.3 (T6) Building Function

a. In addition to the general specifications of Section 5.2.3, specific building function shall be as shown in Tables 12, 13A, 13B and 14, and summarized in Table 19, Subsection K.

- b. Ground floor commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
- c. Manufacturing within the first story shall be permitted by Exception.
- 5.7.4 (T6) PARKING STANDARDS
 - a. In addition to the general specification shown in Section 5.2.4, parking shall be provided as specified in Table 14.
 - b. All parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Liner Building as shown in Table 11, Graphic d.
 - c. Parking shall be accessed from a rear alley.
 - d. The required parking may be provided on sites elsewhere within the same Pedestrian Shed by Warrant.
 - e. Pedestrian entrances to all parking lots and parking structures shall be directly from a frontage line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
 - f. The vehicular entrance of a parking lot or garage on a frontage shall be no wider than 30 feet.
- 5.7.5 (T6) Architectural Standards
 - a. In addition to the general specifications shown in Section 5.2.5, specific standards shall be as follows:
 - b. The exterior finish materials on all facades shall be limited to stone, brick and/or stucco.
 - c. Balconies, galleries and arcades shall be made of concrete, painted wood, metal or a material approved by the Urban Design Officer or the CRC.
 - d. Buildings may have flat roofs enclosed by parapets, or sloped roofs.
 - e. Streetscreens shall be located coplanar

5*Building-Scale Plans

with the facades as shown in Table 11, Graphic e.

- 5.7.6 (T6) Environmental Standards
 - a. In addition to the general specifications shown in Section 5.2.6, the species of landscape installed shall consist primarily of durable species tolerant of soil compaction in accordance with Table 16B, the plant palette.
 - b. Impermeable surface by building shall be confined to the ratio of lot coverage by building as shown in Table 19 Subsection F.
 - c. Management of storm water shall be primarily off-site through underground storm drainage or other regional facilities. There shall be no retention or detention required on the individual lot. If regional options are unavailable, temporary or subsurface detention and retention may be required.
- 5.7.7 (T6) LANDSCAPE STANDARDS
 - a. In addition to the general specifications in Section 5.2.7, the First Layer as shown in Tables 7, 8 & 11D shall be landscaped or paved to match the public frontage as shown in Table 8, and in accordance with Table 16B, the plant palette.
 - b. Trees shall be species with shade canopies that, at maturity, remain clear of building frontages in accordance with Table 16A and 16B, the plant palette.
 - c. Trees shall not be required in the First Layer (See Table 11, Graphic d).
- 5.7.8 (T6) SIGNAGE STANDARDS
 - a. In addition to the signage permitted in Section 5.2.8, a single external sign band may be applied to the facade of each building, provided that such sign not exceed 3 feet in height by any length.

- b. Blade signs, not to exceed 6 square feet for each separate business entrance, may be attached perpendicular to the facade.
- c. Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.

5.8 Civic Functions

5.8.1 General

- a. Community Plans shall designate, or allow by variance, Civic Space (CS) and Civic Building Functions (CB).
- b. Civic Functions may be Warranted so long as they do not occupy more than a total of 20% of the area of each Pedestrian Shed. A Civic Function requiring more than 20% of the Pedestrian Shed shall be subject to the creation of a Specialized District with its own standards, to be coordinated on Table 20, if applicable.
- c. Parking for Civic Functions shall be determined by Warrant.

5.8.2 CIVIC SPACE (CS)

- a. Civic Space may be approved by Warrant.
- b. Civic Spaces shall be generally designed as described in Table 18.
- 5.8.3 CIVIC BUILDINGS (CB)
 - a. CB types shall be approved by Exception for sites reserved for civic buildings.
 - b. Civic Buildings shall not be subject to the Requirements of Section 5. The particulars of their design shall be determined by Exception.

5.9 Special Requirements

- 5.9.1 A Community Plan may designate the following special requirements:
 - a. A differentiation of the Thoroughfares as a Primary-Grid and a Secondary-

Grid. Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Warrants and Exceptions allowing automobile-oriented standards. The frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.

- b. A designation for Mandatory or Recommended Retail Frontage requiring that a building provide a Shopfront at sidewalk level along the entire length of the frontage. The Shopfront shall be no less than 70% glazed in clear glass and provided with an awning overlapping the sidewalk as generally illustrated in Table 7. The first floor shall be confined to retail use through the depth of the First Layer.
- c. A designation for mandatory or recommended Gallery Frontage, requiring that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery Frontage may be combined with a Retail Frontage as shown in Table 7.
- d. A designation of Coordinated Streetscape Frontage, requiring that the Public and Private Frontages be coordinated as a single, coherent landscape and paving design.
- e. A designation of Terminated Vista location, requiring that the building be provided with architectural articulation of a type and character that responds to the location as approved by the CRC.
- f. A designation for Cross Block Passages, requiring a minimum 8-foot-wide pedestrian access be reserved between buildings.
- g. A designation of Buildings of

Value, requiring that such buildings and structures may be altered or demolished only when in accordance with municipal preservation standards and protocols established by ordinance.

The intent of the regulations in this Code 5.9.2 with respect to signage is to establish architectural controls, limit clutter and regulate commercial and locational signage. This Code shall not be interpreted to prevent a for sale sign, a political sign, or a non-commercial sign that is an exercise of non-commercial freedom of speech. Commercial and locational signage with in the Transect Zones are limited, regulated and controlled as provided in this Code, and all other signage shall be subject to the requirments of such City ordinances, rules and regulations that are in effect from time to time.

ARTICLE 6 *STANDARDS & TABLES*

TABLE 1 • INTENTIONALLY LEFT BLANK

6*Standards & Tables

SmartCode

TABLE 2 • TERMS & SYNONYMS

The SmartCode does not integrate all terms used by other Smart Growth publications, which are otherwise fully compatible. A list of synonyms for commonly used SmartCode terms is provided here. They may be exchanged as necessary.

		SmartCode Terms	Synonyms
Plan Types		Community Plan	Specific Plan / Local Plan
		Building Plan	Detailed Plan / Site & Building Plan
Zones	T1	Natural Zone	Green Infrastructure
	T2	Rural Zone	Exurban Zone
	T3	Sub-urban Zone	Neighborhood Edge Zone/Edge-of-town Zone
	T4	Neighborhood General Zone	General Urban Zone/Midtown Zone
	T5	Neighborhood Center Zone	Urban Center Zone
Т6		Urban Core Zone	Downtown Zone/Town Center Zone
	CS	Civic Space Function	Public Space Zone
	CB	Civic Building Function	Public Building Zone
Miscellaneous	V-W	Warrant	Warranted Variance/Administrative Permit
	V-E	Exception	Exceptional Variance/Special Permit
	CSD	Conventional Suburban Development	Suburban Sprawl
	GIS	Geographic Information System	
	CRC	Consolidated Review Committee	Staff Action Committee
		Front Yard Layer	Front Yard Zone

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		DS & TABLES		
	TABLE 3 • TRANSI	CT DESC	RIPTIONS	5
TI	The Natural Zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.	000000		
T2	The Rural Zone consists of lands in open or cultivated state, or sparsely settled. These may include woodland agricultural lands, grasslands, and irrigable deserts.			
T3	The Sub-Urban Zone, though similar to conventional suburban single-family house areas, differs by its street connectivity and by allowing home occupations. It is typically adjacent to other urban T-Zones. This zone is naturalistic in its planting. Blocks may be large and the roads irregular to accommodate site conditions.			
T4	The Neighborhood General Zone has a denser, primarily residential urban fabric. Mixed use is confined to certair corner locations. This Zone has the wide range of building types. Single, sideyard, and row houses are set close to the frontages. Streets typically define medium-sized blocks.			
T5	The Neighborhood Center Zone is the equivalent of a Main Street. This Zone includes mixed-use building types that accommodate retail, offices, and dwellings, including rowhouses and apartments. The T-5 Zone is a tight network of streets and blocks, with wide sidewalks, steady street tree planting, and buildings set close to the frontages.			
T6	The Urban Core Zone occurs at regional centers. It is the equivalent of a town or to the downtown of a city It contains the densest urbanism—the tallest buildings and the greatest variety of uses, particularly unique oner such as the city hall, financial district, and important civic buildings. The Urban Core is the least naturalistic of all the Zones; trees are formally arranged and waterways are ofter contained in embankments.			

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TABLE 4 • INTENTIONALLY LEFT BLANK

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TABLE 5 • TRANSECT SYSTEM ILLUSTRATED

Rural Zones		Urban Z	0805		
T1 Natural	T2 Rural	T3 SUB-URBAN	T4 NEIGHBORHOOD GENERAL	T5 Neighborhood Center	T6 Urban Core
$\begin{array}{c} \leftarrow \\ \leftarrow $		ARGER BLOCKS RESIDENTIAL ER BUILDINGS E GREENSCAPE ED BUILDINGS ED FRONTAGES DS & PORCHES EEP SETBACKS ATED MASSING EN BUILDINGS TCHED ROOFS AL YARD SIGNS	SMALLER BLOG PRIMARILY MI LARGER BUILE MORE HARDSG ATTACHED BU ALIGNED FROM STOOPS & SHO SHALLOW SETH SIMPLE MASSI MASONRY BUI GENERALLY FI BUILDING-MO	Y CKS XED-USE DINGS CAPE ILDINGS BACKS NG LDINGS AT ROOFS UNTED SIGNAGE IMALS	
 ← ← ← ← ← ← ← 	Ro N 	ARROW PATHS S. STANDARDS STIC PARKING CURB RADII OPEN SWALES NIGHT SKY REE CLUSTERS	WIDE SIDEWA Low L.o.s. St Dedicated P Smaller Cur Raised Curb Bright Light Aligned Stre	LEYS LKS ANDARDS ARKING B RADII S S TING ET TREES Allowed	
	Local Gath Pai			STITUTIONS	

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TABLE 6 • INTENTIONALLY LEFT BLANK

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TABLE 7 • PRIVATE FRONTAGES

	Section Lot – R.O.W. Private FrontagePublic Fro	Plan Lot ► ∢R.O.W. ntag&rivate FrontagePublic Froi	ntage
a.Common Yard: a frontage wherein the facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep setback provides a buffer from the higher speed thoroughfares.			T2 T3
b.Porch & Fence: a frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroaching. A fence at the frontage line maintains the demarcation of the yard. The porches shall be no less than 8 feet deep.			T3 T4
c. Terrace or Light Court: a frontage wherein the facade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.			T4 T5
d.Forecourt: a frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.			T4 T5 T6
e.Stoop: a frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.			T4 T5 T6
f. Shopfront and Awning: a frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible.			T4 T5 T6
g.Gallery: a frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery shall be no less than 10 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.			T4 T5 T6
h.Arcade: a frontage wherein the facade is a colonnade that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line. This type is conventional for retail use. The arcade shall be no less than 12 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.			T5 T6

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TABLE 8A • PUBLIC FRONTAGES

	Plan Lot ⊳ ⊲R.O.W. Private Frontage Public Frontage
a.Rural 1: This frontage is often used for Highways and has open swales drained by percolation, bicycle trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.	T1 T2 T3
b.Rural 2: This frontage has open swales drained by percolation, without parking. The landscaping consists of multiple tree and shrub species arrayed in naturalistic clusters.	T1 T2 T3
c. Rural 3: This frontage has open swales drained by percolation and a walking path or bicycle trail along one or both sides and yield parking. The landscaping consists of multiple species arrayed in naturalistic clusters.	T3 T4
d.Urban 1: This frontage is often used on Streets and has raised curbs drained by inlets and narrow sidewalks separated from the vehicular lanes by a wide continuous planter, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species, aligned, in a regularly spaced allee.	T4
e.Urban 2: This frontage is often used on Streets and Avenues and has raised curbs drained by inlets and wide sidewalks separated from the vehicular lanes by a narrow continuous planter with parking on both sides. The landscaping consists of a single tree species, aligned, in a regularly spaced allee.	• T5 • T6
f. Urban 3: This frontage is often used on Main Streets and Avenues and has raised curbs drained by inlets and very wide sidewalks along both sides separated from the vehicular lanes by separate treewells with grates and parking on both sides. The landscaping consists of a single tree species, aligned, with regular spacing where possible but clearing the shopfront entrances.	T5 T6
g.Urban 4: This frontage is typically used for Boulevards and has slip roads on both sides. It consists of raised curbs drained by inlets and sidewalks along both sides, separated from the vehicular lanes by planters. The landscaping consists of double rows of a single tree species, aligned, with regular spacing.	T3 T4 T5 T6

6*Standards & Tables

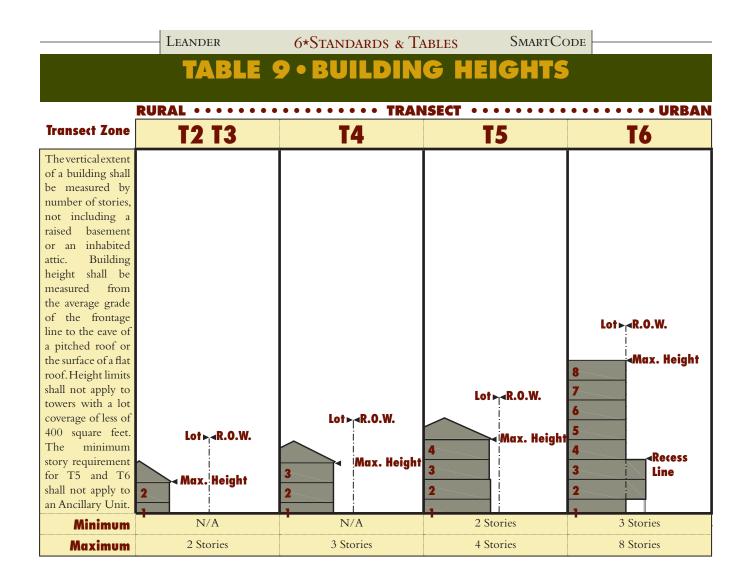
SmartCode

TABLE 88 • PUBLIC FRONTAGE ASSEMBLIES

Public Frontage: That layer of the thoroughfare that is between the vehicular lanes and the property line. The elements of Public Frontages shall be generally designed as follows:

RURAL •••••• TRANSECT ••••••• URBA											
Transect Zone	T1 T2 T3	T1 T2 T3	T4	T4 T5	T5 T6	T5 T6					
Туре	HW RR	RR SR	RS	RS SS AV	RS CS AV BV	CS AV BV					
a.Assembly: The principal variables are the type and dimension of curbs, walkways, planters and landscape.	0										
Total Width	16-24 feet	12-24 feet	12-18 feet	12-18 feet	18-24 feet	18-30 feet					
b.Curb: The detailing of the edge of the vehicular pavement, incorporating drainage.											
Туре	Open Swale	Open Swale	Raised Curb	Raised Curb	Raised Curb	Raised Curb					
Radivs	10-30 feet	10-30 ₁ feet	5-20 feet	5-20 feet	5-20 feet	5-20 feet					
c. Walkway: The pavement dedicated exclusively to pedestrian activity.											
Туре	Path Optional	Path	Sidewalk	Sidewalk	Sidewalk	Sidewalk					
Width	N/A	4-8 feet	4-8 feet	4-8 feet	12-20 feet	12-30 feet					
d.Planter: The layer which accommodates street trees and other landscape.	0										
Arrangement	Clustered	Clustered	Regular	Regular	Regular	Opportunistic					
Species	Multiple	Multiple	Alternating	Single	Single	Single					
Planter Type	Continuous Swale	Continuous Swale	Continuous Planter	Continuous Planter	Continuous Planter	Tree Well					
Plnater Width	8-16 feet	8-16 feet	8-12 feet	8-12 feet	4-6 feet	4-6 feet					
e.Landscape: The recommended plant species.											
Trees											
Understory											

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By Exception

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TABLE 10A • VEHICULAR LANES

Vehicular lanes and turning radii shall be assembled to create thoroughfares according to the desired design speed. Specific requirements for bus routes and truck loading shall be accommodated by Warrant.

1		0						
			T1	T2	T3	T4	T5	T6
De	esign Speed	Travel Lane Width						
	Below 20 mph	8 feet	•	•	•	*		
	20-25 mph	9 feet	•	•	•	•	*	*
	25-35 mph	10 feet	•	•	•	•	•	•
	25-35 mph	11 feet	٠	•			•	•
	Above 35 mph	12 feet	•	•			•	•

Design Speed	Parking Lane Width					
20-25 mph	(Angle) 18 feet				•	•
20-25 mph	(Parallel) 7 feet			•		
25-35 mph	(Parallel) 8 feet		•	•	•	•
Above 35 mph	(Parallel) 9 feet				•	•

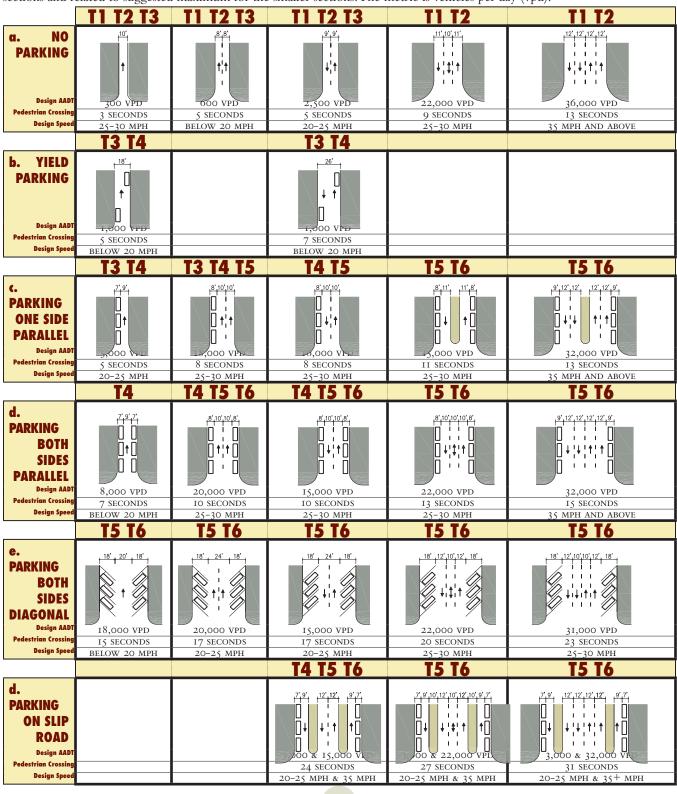
Design Speed	Effective Turning Radius						
Below 20 mph	5-10 feet			•	•	•	•
20-25 mph	10-15 feet	•	•	•	•	•	•
25-35 mph	15-20 feet	•	•	•	•	•	•
Above 35 mph	20-30 feet	•	•			*	*
By Right •							

6*Standards & Tables

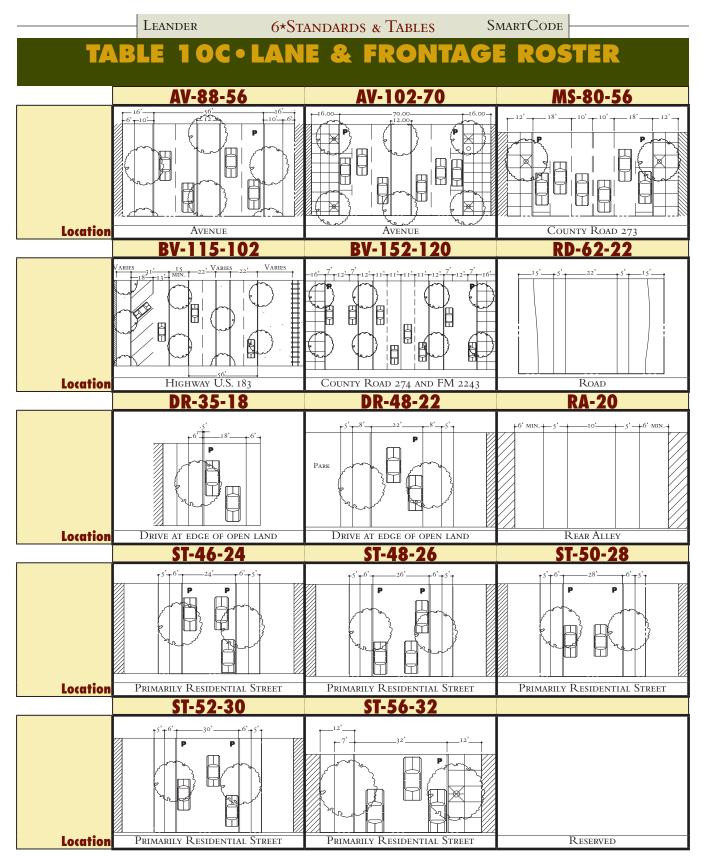
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TABLE 10B • VEHICULAR LANE ASSEMBLIES

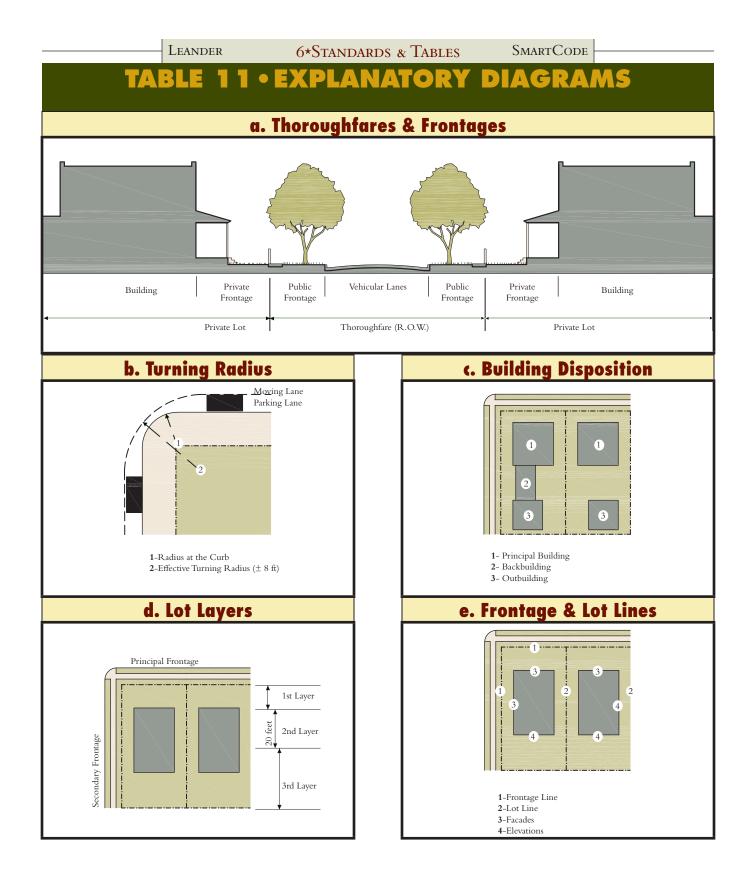
The Design AADT (Average Annual Daily Traffic) is suggested for each section. It is related to capacity for the higher volume sections and related to suggested maximum for the smaller sections. The metric is vehicles per day (vpd).



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Notes: These lane & frontage assemblies are the basis of the Leander TOD Transect Map, which is distinct from this document. The first two letters designate the thoroughfare type. The second two designate the Right-Of-Way width. The final two numbers designate the paving width from curb to curb (inside face).



6*Standards & Tables

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	TABLE 12.0	SENERAL FUNC	TION
	T2 T3	T4	T5 T6
A. RESIDENTIAL	Restricted Residential: The number of dwellings on each lot is restricted to one within a principal building and one within an ancillary building, with 2.0 parking places for each. Both dwellings shall be under single ownership. The habitable area of the ancillary dwelling shall not exceed 500 square feet.	Limited Residential: The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (Section 6.5).	Open Residential: The number of dwellings on each lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (Section 6.5).
B. LODGING	Restricted Lodging: The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m.The maximum length of stay shall not exceed ten days.	Limited Lodging: The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Open Lodging: The number of bedrooms available on each lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times. The maximum length of stay shall not exceed ten days.
C. OFFICE	Restricted Office: The building area available for office use on each lot is restricted to the first story of the principal or the ancillary building and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Limited Office: The building area available for office use on each lot is limited to the first story of the principal building and/or to the ancillary building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Open Office: The building area available for office use on each lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.
D. RETAIL	Restricted Retail: The building area available for retail use is restricted to one block corner location at the first story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling. This specific use shall be further limited to neighborhood store or food service seating of no more than 20.	Limited Retail: The building area available for retail use is limited to the first story of buildings at corner locations, not more than one per block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40.	Open Retail: The building area available for retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net retail space.
E. CIVIC	See Table 13.	See Table 13.	See Table 13.
F. OTHER	See Table 13.	See Table 13.	See Table 13.

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TABLE 13A · SPECIFIC FUNCTION

a. Residential	T1	T2	T3	T4	T5	T6	SD
Apartment Building				•	•	•	
Row (Town) House				•	•	•	
Duplex House			•	•	•		
Triplex House				•	•		
Fourplex House				•	٠		
Sideyard House			•	•	•		
Small House		•	•	•	•		
Medium House		•	•	•			
Large House		•	•	•			
Estate House		•	•				
Ancillary Unit		•	•	•	•		
Manufactured House			*				*
Temporary Tent	*	*	*	*	*	*	*
Live-work Unit			•	•	•	*	*
Home Occupation		•	•	•	•	•	*

b. Lodging

Hotel (No Room Limit)				•	•	*
Inn (Up To 12 Rooms)	*		•	•	•	
Inn (Up To 5 Rooms)	 *	٠	•	•	•	
S.r.o. Hostel		*	*	*	*	*
School Dormitory			•	•	•	•

c. Office

Live/Work Unit • • • • *	Office Building			•	•	•	*
	Live/Work Unit		•	•	•	•	*

d. Retail

Open-market Building Retail Building	•	•	•	٠	•	٠
Retail Building			•	•	•	+
Display Gallery			•	•	•	÷
Restaurant			•	•	•	÷
Kiosk			•	•	•	×
Push Cart				*	*	*
Liquor Selling Establishment				*	*	*
Adult Entertainment					*	*

e. Civic

Bus Shelter		•	•	•	•	•
Convention Center					*	•
Conference Center				*	•	•
Exhibition Center					*	•
Fountain Or Public Art	٠	٠	٠	•	•	•
Library			٠	•	•	•
Live Theater				•	•	•
Movie Theater				•	•	•
Museum				*	•	•
Outdoor Auditorium	*	٠		•	•	•
Parking Structure			*	•	•	•
Passenger Terminal				*	*	•
Playground	٠	٠	٠	•	•	•
Sports Stadium					*	•
Surface Parking Lot			*	*	*	٠
Religious Assembly		*	*	•	•	٠

By Right	•
By Exception	*

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Leander 6*Standari	os & T.	ABLES	S	MARTCO	DDE		
TABLE 13B•SPE	CIF		UNC	TIO	N		
Other: Agriculture	Π	T2	T3	T4	T5	T6	SD
Grain Storage Livestock Pen	•	•					*
Livestock Pen Greenhouse	*	*					*
Stable	•	•	*				*
Kennel	•	•	*				×
Gasoline Station (requires minimum two-story building located at					*	•	•
intersection corner of lot if the lot is located at an intersection)							
Auto Sales (requires minimum two-story building, indoor					*	•	
showroom only and service area sited behind all private frontages							
and completely screened)							
Automobile Service							•
Truck Maintenance		-					•
Drive-through Facility	•	•			*	*	•
Rest Stop Roadside Stand	•						*
Billboard		-				*	*
		1	1	1	1		
Shopping Center Shopping Mall							*

F. Other: Civil Support

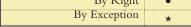
Fire Station		•	•	•	•	•
Police Station			•	•	•	•
Cemetery	•	+	+			•
Funeral Home		^	ê	•	•	•
Hospital				_	÷	•
Medical Clinic				ê	ê	•

F. Other Education

College				+	+	•
High School			+	÷	L L	•
Trade School			^	÷	Î Î	•
Elementary School		+	•	ê	ê	•
Other – Childcare Center	•	ê	•	•	•	*

F. Other: Industrial

Heavy Industrial Facility Light Industrial Facility Truck Depot						2	•
Light Industrial Facility						+	•
Truck Depot							•
Laboratory Facility Water Supply Facility Sewer And Waste Facility						+	•
Water Supply Facility							•
Sewer And Waste Facility							•
Electric Substation	+	+	+	+	+	+	•
Wireless Transmitter Cremation Facility	÷	÷	<u>^</u>	<u>^</u>	<u>^</u>		•
Cremation Facility	^	<u>^</u>					•
Warehouse						+	•
Produce Storage							•
Produce Storage Mini-storage							•
By Right •							



	Leander		andards & T		SmartCode	
	TABLE	14 • P/	ARKING	5 STAN	DARDS	
	Required Parki	ing for Function	S (see Table 12)	Sharing Fact	or for Mixed Use (se	ee Section 5.2.4
	T2 T3	T4	T5 T6	Function	with	Functio
Residential	2.0/dwelling	1.5/dwelling	1.0/dwelling	Residential	\frown	Residenti
Lodging	1.0/bedroom	1.0/bedroom	1.0/bedroom	Lodging		Lodgiı
Office	3.0/1,000 sq. ft.	3.0/1,000 sq. ft.	2.0/1,000 sq. ft.	Office		Offi
Retail	4.0/1,000 sq. ft.	4.0/1,000 sq. ft.	3.0/1,000 sq. ft.	Retail		Reta
Civic	To be determined	by warrant.			1.2XI.7XI.7XI.2 I.3XI.7I.3	
Other	To be determined	by warrant.				

To determine the amount of total off-street parking required for mixed use projects, add the total number of spaces required on the two separate uses and then divide that total by the appropriate factor from the table.

 \sim

	Leander	6*Standaf	dds & Ta	ABLES	Si	MARTCO	DE		
TAB	LE 15•	STREETLI	GH1	1 ILI	US1	RA		NS	
			T 1	T2	T3	T4	T5	T6	SD
Cobra Head	•								
	Y		•						•
Pipe									
			•	•	•				
Wood Post									
				•	•	•			
Column									
	$\widehat{\mathbb{T}}$					•	•	•	
Double Column									
	ŶŶ						•	•	

LEANDER	6*Standard	s & Ta	BLES	Sr	MARTCO	DE		
TABLE 16A • S	TREET 1	RE	E ILI	LUS	FRA	TIO	NS	
		T1	T2	T3	T4	T5	T6	SD
Oval								
and the second sec		•	•	•	•	•	•	
Ball								
		•	•	•	•	•	•	
Pyramid		•	•	•	•			
Umbrella								
		•	•	•	•			
Vase		•	•	•	•			

Table 16B

Preferred Plant Pallet

				/	/		/	/
Shade Trees:		/*	\sqrt{x}	v/x	3/2	A/~	ら/~	6/ q
Bigtooth Maple	Acer grandidentatum	Í	×	×	×	×	×	×
River Birch	Betula nigra	×	×	×	×			×
Osage Orange	Bois d'arc		×	×	×	×		
Pecan	Carya illinoinensis	×	×	×	×			
Texas Ash	Fraxinus texensis	×	×	×	×	×		
Black Walnut	Juglans nigra	×	×	×	×	×		
Texas Pistache	Pistacia texana	×	×	×	×			
Cottonwood	Populus deltoides	×	×	×				
Burr Oak	Quercas macrocarpa	×	×	×	×	×	×	×
Chinquapin Oak	Quercas muhlenbergii	×	×	×	×	×	×	×
Mexican White Oak	Quercas polymorpha Quercas stellata	X	×	×	×	×	×	×
Shumard Red Oak	Quercas sienata Quercas sumardii	×	×	×	×	×		
Texas Red Oak	Quercas sumardii Quercas texana			×	×			
Live Oak				×	×			
	Quercas virginiana			×	×	×	×	×
Western Soapberry	Sapindus drummondii				×	×	×	
Montezuma Cypress	Taxodium mucronatum	×	×	×	×			
American Elm Cedar Elm	Ulmus americana	×	×	×	×	×	×	×
	Ulmus crassifolia	×	×	×	×	×	×	×
Lacebark Elm	Ulmus parvifolia			×	×	×	×	×
Drake Elm	Ulmus parvifolia "Drake'			×	×	×	×	×
Ornamental Trees:								
Guajillo	Acacia berlandieri	×	×	×	×			
Huisache	Acacia farnesiana 'smallii'	×	×	×				
Wright Acacia	Acacia wrightii	×	×	×	×			
Anacacho Orchid Tree	Bauhinia congesta	×	×	×				
Paloverde Tree	Cercidium macrum	×	×		 	 	 	
Texas Redbud	Cercis canadensis 'texana'	×	×	×	×	×	×	×
Desert Willow	Chilopsis linearis	×	×	×	×	×	×	×
Smoke Tree	Continus obovatus	×	×	×	×			
Roughleaf Dogwood	Cornus drummondii		×	×	×	×	×	×
Texas Persimmon	Diospyros texana	×	×	×				
Sandpaper Tree	Ehretia anacua	×	×	×				
Kidneywood	Eysenhardtia texana	×	×	×	×			
Soapbush	Guajacum angustifolium	×	×	×				
Witch Hazel	Hamamelis virginiana	×	×	×				
Possumhaw Holly	llex decidua	×	×	×	×	×	×	
Yaupon Holly	llex vomitoria	×	×	×	×	×	×	
Coyotillo	Karwinskia humboltiana	×	×	×				
Crepe Myrtle	Lagerstroemia indica		×	×	×	×	×	×
Golden Leadball Tree	Leucaena retusa	×	×	×	×	×		
Blanco Crabapple	Malus ioensis var. texana	×	×	×	×	×	×	
Wax Myrtle	Myrica cerifera		×	×	×	×	×	×
Cherry Laurel	Prunus carloniana		×	×	×	×	×	
Mexican Plum	Prunus mexicana	×	×	×	×	×	×	×
Carolina Buckthorn	Rhamnus caroliniana	×	×	×	×	×		
Lanceleaf Sumac	Rhus lanceolata	×	×	×	×			
Evergreen Sumac	Rhus virens	×	×	×				
Weeping Willow	Salix babylonica*			×	×	×		
Eve's Necklace	Sophora affinis	×	×	×	×	×	×	
Texas Mountain Laurel	Sophora secundiflora	×	×	×	×	×	×	×
Mexican Buckeye	Ungnadia speciosa	×	×	×	×	×	×	×
Rusty Blackhaw Viburnum	Viburnum rufidulum	×	×	×	×			
Vitex	Vitex agnus-castus		×	×	×	×	×	×
Toothache Tree	Zanthoxylum hirstum	×	×	×				
Shrubs:								
Glossy Abelia	Abelia grandiflora			×	×	×	×	
Flame Acanthus	Anisacanthus quadrifidus 'wrightii'	×	×	×	×	×	×	
Agarita	Berberis trifoliata	×	×	×				
American Beautyberry	Callicarpa americana	×	×	×	×	×	×	
Bottlebrush	Callistemon citrinus	×	×	×	×	×	×	
Chile Pequin	Capsicum annuum 'aviculare'	×	×	×	×	1	Ì	
Snakewood	Colubrina texensis	×	×	×	Ì	1	Ì	
Cotoneaster	Cotoneaster spp.	×	×	×	×	×	×	
Black Dalea	Dalea frutescens	×	×	×	×	×	×	
Sotol	Dasylirion spp.	×	×	×	×			
Eleagnus	Eleagnus spp.	1			×	×	×	
Coralbean	Erythrina herbacea	×	×	×	×	×	×	
Red Yucca	Hesperaloe parvifolia	×	×	×	×	×		
Burford Holly	Ilex cornuta 'Burfordii'	1			×	×	×	
Primrose Jasmine	Jasminum mesneyi	1	1	×	×	×	×	
Dwarf Crepe Myrtle	Lagerstroemia indica	1		×	×	×	×	
Texas Sage	Leucophylum frutescens	×	×	×	×	×	×	
Green Cloud Sage	Leucophylum frutescens 'green cloud'			×	×	×	×	
Silverado Sage	Leucophylum frutescens 'silverado'	1	×	×	×	×	×	
White Honeysuckle	Lonicera albiflora var. albiflora	×	×	×	×	×	×	
Barbados Cherry	Malpighia glabra	×	×	×	×	×	×	
Furk's Cap	Malvaviscus drummondii	×	×	×	×	×	×	
Dwarf Wax Myrtle	Myrica pusilla	×	×	×	×	×	×	
			. ^	^	· ^	· ^	. ^	

Table 16B (continued)

Shrubs (continued): Dleander Jolina Prickly Pear Pavonia	Nerium oleander Nolina texana Opuntia englmannii 'lindheimeri' Pavonia lasiopetala Philadelphus texensis Poliomintha longiflora Raphiolepis indica Rhus aromatica Rhus glabra Rhus yirens Rosmarinus officinalis Rosmarinus prostrata Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	x x		x x x x x x x x x x x x x x x x x x x	× × × × × × × × × × × × × × × × × × ×	x x x x x x x x x x x x x x x x x x x	× × × × × × × × × × × ×	
Prickly Pear Pavonia Pavonia Exas Mock Orange Mexican Oregeno Indian Hawthorne Formatic Sumac Formatic Sumac Fo	Opuntia englmannii 'lindheimeri'Pavonia lasiopetalaPhiladelphus texensisPoliomintha longifloraRaphiolepis indicaRhus aromaticaRhus glabraRhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×		x x x x x x x x x x x x x x x x x x x	× × × × × × × × × × × × × × ×	× × × × × × × × × ×	× × × × × × × × × ×	
Pavonia Pavonia Pavonia Pavonia Mexican Oregeno Indian Hawthorne Aromatic Sumac Aromatic Sumac Aromati	Pavonia lasiopetala Philadelphus texensis Poliomintha longiflora Raphiolepis indica Rhus aromatica Rhus glabra Rhus virens Rosmarinus officinalis Rosmarinus prostrata Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×		x x x x x x x x x x x x x x x x x x x	x x	× × × × × × × × × ×	× × × × × × × × × ×	
exas Mock Orange Mexican Oregeno ndian Hawthorne aromatic Sumac smooth Sumac swergreen Sumac Rosemary railing Rosemary Owarf palmetto Autumn Sage Coralberry Blackhaw Viburnum wisted-Leaf Yucca Spanish Dagger Ornamental Grasses: Big Bluestem Bideoats Grama Blue grama Cedar Sedge nland Seaoats Curly Mesquite Monky Grass Miscanthus ar Muhly	Philadelphus texensisPoliomintha longifloraRaphiolepis indicaRhus aromaticaRhus glabraRhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×		× × × × × × × × × × × × × ×	x x	× × × × × × × × × ×	× × × × × × × × × ×	
Mexican Oregeno Indian Hawthorne Aromatic Sumac Smooth Sumac Evergreen Sumac Rosemary Trailing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Fwisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Far Muhly	Poliomintha longiflora Raphiolepis indica Rhus aromatica Rhus glabra Rhus virens Rosmarinus officinalis Rosmarinus prostrata Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×	× × × × × × × × × × × × × × × × × × ×	× × × × × × × × × × × ×	x x	× × × × × × × × ×	× × × × × × × × × × ×	
Adian Hawthorne Aromatic Sumac Smooth Sumac Evergreen Sumac Rosemary Trailing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brus	Raphiolepis indicaRhus aromaticaRhus glabraRhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×	x x x x x x x x x x x x x x x x x x x	× × × × × × × × × × × × ×	× × × × × × × × × × × × ×	× × × × × × × ×	× × × × × × × ×	
Aromatic Sumac Smooth Sumac Evergreen Sumac Rosemary Trailing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Rhus aromaticaRhus glabraRhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×	× × × × × × × × × × × × × × × × × × ×	× × × × × × × × × × ×	× × × × × × × × × × ×	× × × × × ×	× × × × × ×	
Smooth Sumac vergreen Sumac Rosemary railing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Blue grama Cedar Sedge nland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Rhus glabraRhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×	× × × × × × × × × × × × × × × × × × ×	× × × × × × × × × × ×	× × × × × × × × × ×	× × × × ×	× × × ×	
Evergreen Sumac Rosemary Trailing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Ornamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Rhus virensRosmarinus officinalisRosmarinus prostrataSabal minorSalvia greggiiSymphoricarpos orbiculatusViburnum prunifoliumYucca rupicolaYucca spp.Andropogan gerardiAndropogan glomeratusBouteloua curtipendulaBouteloua gracilisCarex planostachysChasmanthium latifolium	× ×	× × × × × × × × × × × ×	× × × × × × ×	× × × × × × × ×	× × × × ×	× × × ×	
Rosemary Trailing Rosemary Dwarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Rosmarinus officinalis Rosmarinus prostrata Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×	× × × × × × × × × ×	× × × × ×	× × × × × × ×	× × × ×	× × × ×	
railing Rosemary Dwarf palmetto Sutumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Brushy Bluestem Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Rosmarinus prostrata Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	x x x x x x x x x x x x x x x x	× × × × × × × × × × ×	× × × × × × ×	× × × × ×	× × × ×	× × × ×	
Owarf palmetto Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Ornamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge nland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Sabal minor Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×	× × × × × ×	× × × × ×	× × × ×	× × ×	× × ×	
Autumn Sage Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Ornamental Grasses: Big Bluestem Brushy Bluestem Brushy Bluestem Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Salvia greggii Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	x x x x x x x x x x x	× × × × ×	× × ×	× × ×	××	× ×	
Coralberry Blackhaw Viburnum Wisted-Leaf Yucca Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Symphoricarpos orbiculatus Viburnum prunifolium Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× × × × × ×	× × ×	×	×			
wisted-Leaf Yucca panish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge nland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Yucca rupicola Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× × × × ×	×			×	×	
Spanish Dagger Drnamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Yucca spp. Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× × × × ×	×		×			
Drnamental Grasses: Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Andropogan gerardi Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× × ×	×	×				
Big Bluestem Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×						
Brushy Bluestem Bideoats Grama Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Andropogan glomeratus Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	× ×						
Sideoats Grama Slue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Bouteloua curtipendula Bouteloua gracilis Carex planostachys Chasmanthium latifolium	×	~	×	×	×		
Blue grama Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Bouteloua gracilis Carex planostachys Chasmanthium latifolium	-		×	×	×		
Cedar Sedge Inland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Carex planostachys Chasmanthium latifolium		×	×	×	×	×	
hland Seaoats Curly Mesquite Monky Grass Miscanthus Ear Muhly	Chasmanthium latifolium	×	××	××	×	××	×	
Curly Mesquite Monky Grass Miscanthus Far Muhly		×	×	×	×	×	×	
Ionky Grass Iiscanthus ar Muhly	Hilaria belangeri	×	×	×	×			
Aiscanthus Ear Muhly	Liriope muscari				×	×	×	
	Miscanthus spp.				×	×	×	
Sulf Mubly	Muhlenbergia arenacea	×	×	×	×	×		
	Muhlenbergia capillaris	×	×	×	×	×	×	
indhiemer Muhly	Muhlenbergia lindhiemeri	×	×	×	×	×	×	
Seep Muhly	Muhlenbergii reverchonii	×	×	×	×	×		
Deer Muhly	Muhlenbergii rigens	×	×	×	×	×	×	
Switchgrass ittle Bluestem	Panicum virgatum Schizachyium scoparium	×	×	×	×	×	×	
ndiangrass	Sorghastrum nutans	×	××	××	×	××	×	
Aexican Feathergrass	Stipa tenuissima	×	×	×	×	×	×	
Vildflowers/Perennials:		^	^	^		^	^	
arrow	Achillia millefolia	×	×	×	×	×	×	
Vild Red Columbine	Aguilegia canadensis	×	×	×	×	×	×	
Chocolate Dasiy	Berlandiera lyrata	×	×	×	×	×	×	
Vinecup	Callirhoe involucrata	×	×	×	×	×	×	
Damianita	Chrysactinia mexicana	×	×	×	×	×	×	
Coreopsis	Coreopsis lanceolata	×	×	×	×	×	×	
arkspur	Delphinium carolinianum	×	×	×	×			
Purple Coneflower	Echinacea purpurea	X	×	×	×	×	×	
laximilian Sunflower	Gaillardia pulchelle Helianthus maximiliani	×	××	××	×	×	×	
Standing Cypress	Ipomopsis rubra	×	×	×	×	×	×	
antana	Lantana spp.	×	×	×	×	×	×	
Skullcap	Leguminosae Scutellaris	×	×	×	×	×	×	
Bayfeather	Liatrus speciosa	×	×	×	×	×	×	
Blue Flax	Linum lewisii	×	×	×	×	×	×	
Blackfoot Dasiy	Melampodium leucanthum	×	×	×	×	×	×	
lorsemint	Monarda citriodora	×	×	×	×			
Rock Rose	Pavonia lasiopetala	×	×	×	×	×		
Penstemon	Penstemon spp.	×	×	×	×	×	×	
lexican Hat Ruellia	Ratibida columnifera Ruellia nudiflora	×	×	×	×	×	×	
lealy Blue Sage	Ruellia nudifiora Salvia farinacea	×	××	××	×	××	×	
Cedar Sage	Salvia roemeriana	×	××	××	×	×	^	
Goldenrod	Solidago altissima	×	×	×	×	×	×	
Aexican Mint Marigold	Tagetes lucida	×	×	×	×	×	×	
Prarie Verbena	Verbena bipinnatifida	×	×	×	×			
/ines:								
Crossvine	Bignonia capreolata	×	×	×	×	×	×	
rumpet Vine	Campsis radicans	×	×	×	×	×	×	
Carolina jessamine	Gelsemium sempervirens	×	×	×	×	×	×	
inglish Ivy	Hedera helix				×	×	×	
Aorning Glory	Ipomoea spp.	×	×	×	×	×	×	
Coral Honeysuckle	Lonicera sempervirens Parthenocissus quinquefolia	×	××	××	×	×	×	
Boston Ivy	Parthenocissus tricuspidata	^	^	^	×	×	×	
Passionflower	Passiflora alatocaerulea	+		×	×	×	×	
Cypress Vine	Quamoclit pennata		×	×	×			
ady Banksia Rose	Rosa banksiae 'Lutea'				×	×	×	
Santolina	Santolina virens	1			×	×	×	
Warf periwinkle	Vinca major	×	×	×	×	×	×	
exas Wisteria	Wisteria macrostachya	×	×	×	×	×	×	
urf Grasses:								
Buffalograss	Buchloe dactyloides	×	×	×	×	×	×	
Bermuda Grass Zoysiagrass	Cynodon dactylon Zoysia spp.	×	××	×	×	××	×	

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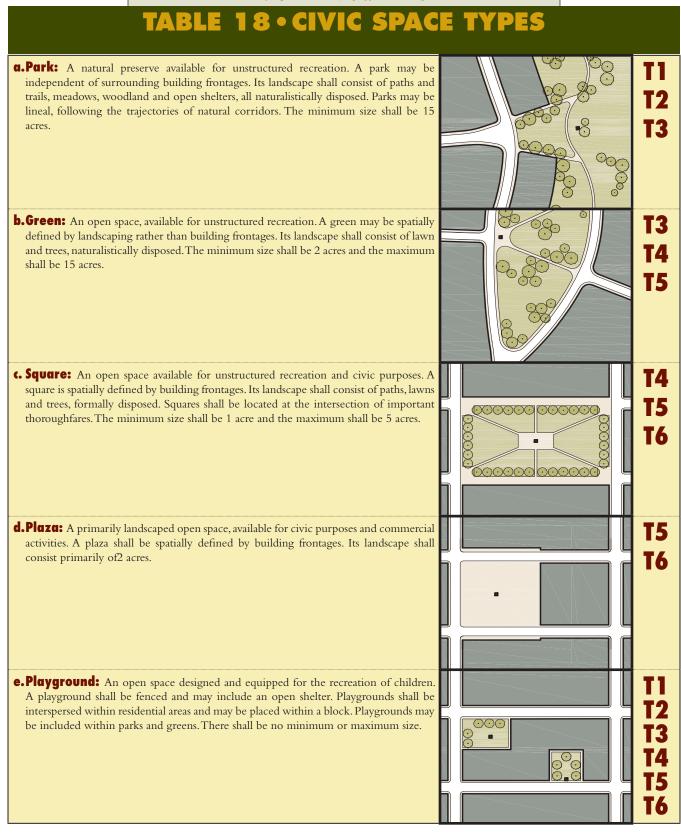
6*Standards & Tables SmartCode

DELANDER O^STANDARDS & TABLES		
TABLE 17 • BUILDING DIS	SPOSITION	
a.Edge Yard: A building that occupies the center of its lot with setbacks on all sides. This is the least urban of types as the front yard sets it back from the frontage, while the side yards weaken the spatial definition of the public thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed backbuilding and/or outbuilding.		T1 T2 T3 T4
b.Side Yard: A building that occupies one side of the lot with the setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. A shallow frontage setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze.		T4 T5
c. Rear Yard: A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous facade steadily defines the public thoroughfare. The rear elevations may be articulated for functional purposes. In its residential form, this type is the rowhouse. For its commercial form, the rear yard can accommodate substantial parking.		T5 T6
d.Court Yard: A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.		T5 T6
e.Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation, such as factories or airports, are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included. Certain types, such as hospitals, may also require exemption from disposition requirements.	?	SD

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(See Section 19e)

TABLE 19 • TRANSECT ZONE SUMMARY

	RURAL ••••	• • • • • • • • • •	••••• TRAM	ISECT ····	• • • • • • • • • •	••••• URBAN	
			* * * *		.		
	T NATURAL	T2 Rural	T3 SUB-URBAN	TANEIGHBORHOOD	T 5 Neighborhood	T6 URBAN	
				General	CENTER	Core	- DISTRICI
[Intent	tionally Left Blank	(<u>)</u>	1	1	1	i	(see Table 20)
Base R	Residential Density	(see Section 3.4)					
Right er	1 unit/100 ac. max.	1 unit/10 ac. max.		12 units/ac. gross min	20 units/ac. gross min	no minimum	by exception
tions	by exception	→	10-20% min→	20-30% min→	30-50% min	50-70%	,
Block S	Size					<u>.</u>	
k meter	no maximum		max w/block face	3,600 ft. perimeter max w/block face 1,200 ft. max*	max w/block face 600	max w/block face 600	by exception
Public	Frontages (see Table	X	1,200 It. IIIaA	· · · · · · · · · · · · · · · · · · ·	^/	-block pedestrian passa	
1 UNIL	i viilingus (see Table	. 0)	-	TOT I TOUCK TALES g.	icater than 000, a lille	-block peucsulaii passa	geway shan be utilized
& RR	permitted			prohibited			by exception

	permitted		\rightarrow	prombneu	·····	\rightarrow by exception
	[
					prohibited	
RS	prohibited	í	······→	permitted	prohibited	\rightarrow
SS & AV	prohibited		······→	permitted		\rightarrow
CS & AV	prohibited		· · · · · · · · · · · · · · · · · · ·	→	permitted	
Rear Lane	permitted			\rightarrow	prohibited	\rightarrow
	prohibited	······→	permitted	required		\rightarrow
Path	permitted				prohibited	\rightarrow
Passage	prohibited	······→	permitted			\rightarrow
Bicycle Trail						
	permitted		······	prohibited *		\rightarrow
Bicycle Lane						
	permitted			······	prohibited	<u> </u>
Bicycle Route						
Route	permitted					\rightarrow

E. Civic Space (see Table 18)

57

E. Civic	Space (see Table 18)				★ _{perr}	nitted within Open Spa	aces (see Section 6.10) $_*$
Park	permitted		······→	prohibited		······→	by exception
Green	prohibited	······ →	permitted		······	prohibited	
Square	no minimum		······→	permitted		·······	
Plaza Playgroun							
Playgroun	no minimum						

F Lot Occupation

r. LOT UCC	opation							
Lot Area	by exception \rightarrow	min. 20 ac. avg \rightarrow	5,000 sq. ft. avg→	2,500 sq. ft. avg→	1,500 sq. ft. min	no minimum \rightarrow	by exception	
Coverage of								
Building Lot	by exception \rightarrow	by variance $\dots \rightarrow$	60% max→	70% max→	80% max→	100% max→		
G. Building Setback								
Front	by exception \rightarrow	32 ft. min→	24 ft. min	6 ft. min. 20 ft. max.	0 ft. min. 12 ft. max.	0 ft. min. 12 ft. max.	by exception	
					0 ft. min. 24 ft. max.			
Rear	by exception \rightarrow	100 ft. min	12 ft. min	3 ft. min.★	3 ft. min.★	o ft. min→		
H. Building Disposition (see Table 17)								
Edgeyard	permitted			······→	prohibited	······→	by exception	
Sideyard					······→	· · · · · · · · · · · · · · · · · · ·		
Rearyard	prohibited		······ →	permitted		······ →		

I. Private Frontages (see Table 7)

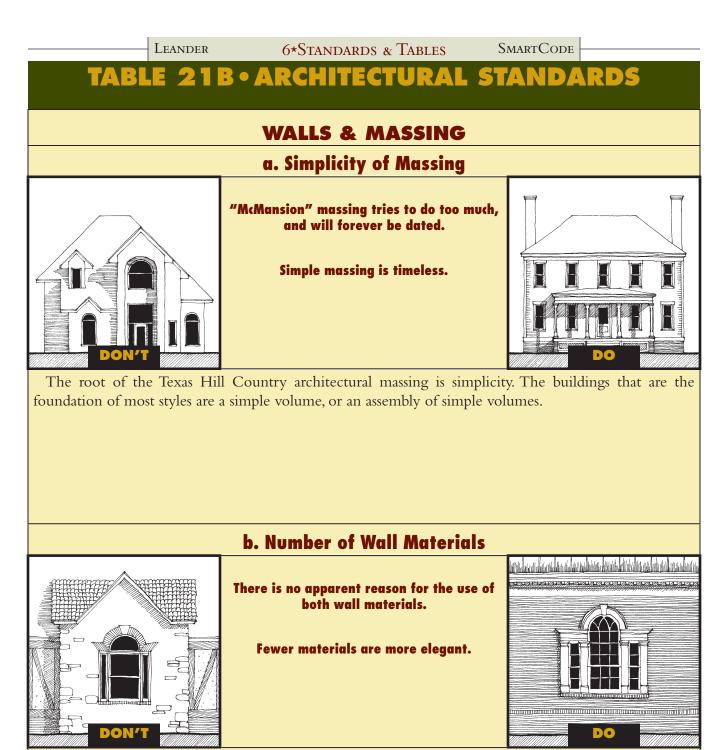
`	11				,	
not applicable	permitted			prohibited		by exception
			7		7	
not applicable \rightarrow	prohibited	permitted	·······	prohibited	→	
not applicable $\dots \rightarrow$	prohibited	\cdots	permitted	······→	prohibited \rightarrow	
not applicable \dots	prohibited	\cdots	permitted		$\cdots \rightarrow$	
not applicable \rightarrow	prohibited	······→	permitted		······→	
not applicable \dots	prohibited	\cdots	permitted		\cdots	
not applicable	prohibited		\cdots	permitted	→	
g Height (see Table 9)					
					8 stories max.	
not applicable	2 stories max	······ →	3 stories max→	4 stories max., 2 min.		by exception
not applicable	2 stories max			······→	not applicable \rightarrow	
g Function (see Tabl	es 12, 13A & 13B)					
prohibited \rightarrow	restricted use	······→	limited use $\ldots \rightarrow$	open use	······	by exception
prohibited \rightarrow	restricted use	······→	limited use $\dots \rightarrow$	open use	······→	
prohibited	······→	restricted use \rightarrow	limited use $\ldots \rightarrow$	open use	······→	
		· · · · · · · · · · · · · · · · · · ·	r,	r		
	not applicable not applicable not applicable not applicable not applicable not applicable J Height (see Table 9 not applicable J Height (see Table 9 not applicable g Function (see Tabl prohibited prohibited	not applicable	not applicable prohibited permitted not applicable prohibited prohibited not applicable 2 stories max prohibited g Function (see Tables 12, 13A & 13B) prohibited prohibited prohibited prestricted use prohibited prohibited	not applicable prohibited not applicable prohibited	not applicable prohibited permitted prohibited not applicable prohibited permitted permitted not applicable 2 stories max 3 stories max 4 stories max, 2 min. g Function (see Tables 12, 13A & 13B) prohibited open use open use prohibited restricted use limited use open use prohibited restricted use limited use open use	not applicable

				AS EACH DISTR			
	SD1 DISTRICT	r SD2 DISTRIC	T SD3 DISTRIC	SD4 DISTRICT	SD5 DISTRICT	SD6 DISTRICT	SD7 DIS
A. [Intent	tionally Left Blan		DISTRIC	DISTRICT	DISTRICT	DISTRICT	(see Tab
	lesidential Densi	ty (see Section 3.4)				1	
By Right Other	X unit/X ac.avg.						
Functions C. Block S) Size						
Block Perimeter							
D. Public	Frontages (see Tab	le 8)			*3,000 feet	maximum for blocks	with parking stru
HW & RR BV							
SR RS							
SS & AV CS & AV							
Rear Lane							
Rear Alley Path							
Passage Bicycle							
Trail Bicycle							
Lane							
Bicycle Route							
E. Civic Sj Park	pace (see Table 18)				*peri	nitted within Open Sp	paces (see Section
Green Square							
Plaza							
F. Lot Occ	upation					1	
Lot Area Lot							
Coverage G. Buildir	na Sethack						
Front							
Side Rear							
H. Buildiı Edgeyard	ng Disposition (see	e Table 17)				* or 15 feet f	rom center line o
Sideyard							
<mark>Rearyard</mark> I. Private	Frontages (see Ta	ble 7)					
Common Yard							
Porch & Fence							
Terrace or							
LC Forecourt							
Stoop Shopfront &							
Awning Gallery							
Arcade	a Hetaka a saata						
Principal	g Height (see Table	9)					
Building							
K Ruildi	ng Function (see Ta	bles 12, 13A & 13B)					

LEANDER 6*STANDARDS & TABLES SMARTCODE

TABLE 21A • ARCHITECTURAL STANDARDS

	WALLS & MASSING
	a. Materials
Building Walls:	Shall be finished in native stone (or synthetic equivalent), brick, stucco, split-faced block (for piers, foundation walls and chimneys), wood lap siding, or Hardi Plank siding (equivalent or better).
Frontage Walls & Stoops:	Shall match or be compatible with the materials of the associated buildings.
Frontage Fences & Walls:	Shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, or stucco. May have masonry or stucco piers and base. Colors shall match local precedent or standard.
	b. Configurations
Building Walls:	Shall show no more than two materials on any exterior wall, not counting the foundation wall or piers. Heavier materials shall be located below horizontal joints. Vertical joints between materials shall only occur at inside corners. Exterior building walls shall be a minimum of 9' in height on the main level.
Stone:	Shall be laid with the stones in a horizontal orientation to resemble structural stone walls.
Stucco:	Shall be cement or synthetic and may be integral color or painted. Finish shall be smooth or sand-finish; heavy lace is prohibited. EIFS shall not be installed within 3' of the ground.
Brick:	Shall be properly detailed and installed in load-bearing configurations. Brick shall course exactly to both the top and bottom of all wall openings. Textured brick is prohibited.
Siding:	Shall be clapboard or lap siding, and shall be painted. Vinyl siding and faux wood grain is prohibited.
Frame Wall/Masonry Base Alignment:	Face of stud of frame walls shall align with face of masonry of foundation wall below. Horizontal ledges between wood frame wall and masonry base are prohibited.
Trim:	Shall be indistinguishable from wood when painted, and shall be sized appropriately to its location. Corner boards shall not exceed 1x6.
Masonry Arches & Piers:	Shall be no less than 12" x 12" in plan view.
Color:	Shall be selected according to building style and Central Texas precedent.



No more than two wall materials shall be visible on any exterior wall, not including the foundation wall or piers. Construction was once more difficult and expensive than it is now, so builders tried to use simple construction systems. They may have enriched the buildings with ornament, but the basic construction system was usually simple. Because of this, most walls were built of one material or maybe two, not counting the foundation & trim work. Today, however, the public realm is often so poor that people feel compelled to clutter the walls of buildings with as many materials and shapes as possible in hopes of creating "street appeal" since the street itself has little appeal. Unfortunately, the result is often cluttered and unappealing.



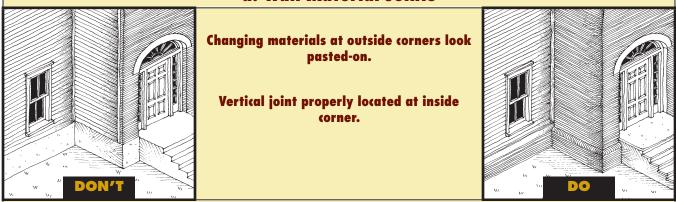
6*Standards & Tables

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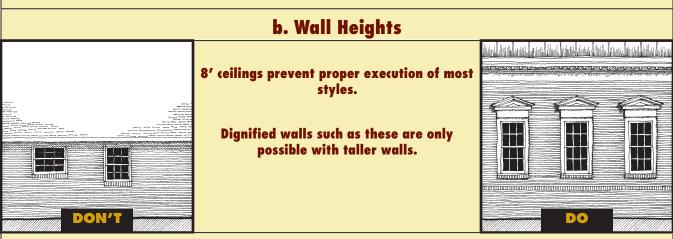
TABLE 21C • ARCHITECTURAL STANDARDS

WALLS & MASSING

a. Wall Material Joints



Heavier, more basic, or more unadorned materials should occur below a horizontal joint, such as rough stone below brick or brick below wood siding. Buildings should become lighter and more adorned as they approach the sky.Vertical joints between different materials shall occur only at inside corners except in rare instances that are appropriate to the style. This naturally occurred when additions to buildings were built of a different material. It is common in some areas to see original houses of wood, for example, with additions of brick or stone because the family became more prosperous over the years. Material changes at outside corners gives the entire building an aura of cheapness and shall not be permitted.



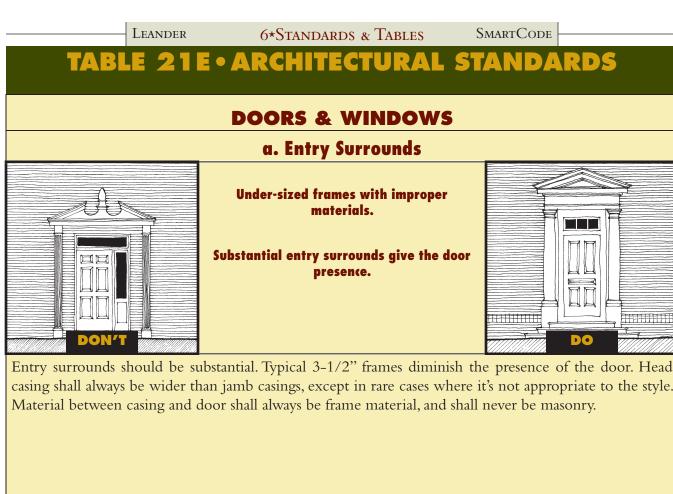
8' tall walls should never be used except in rare cases when they are appropriate to the architectural language. Principal rooms of even the humblest houses had relatively tall ceilings until the mid-1920's. It is almost impossible to detail a house properly with low 8' tall walls with rafters above.

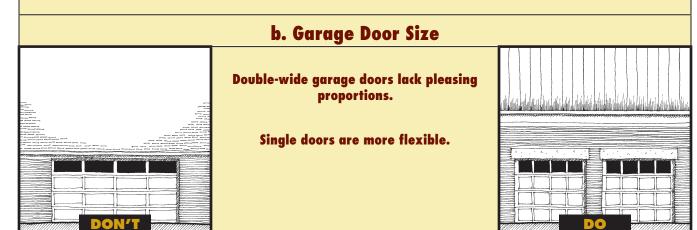
6*Standards & Tables

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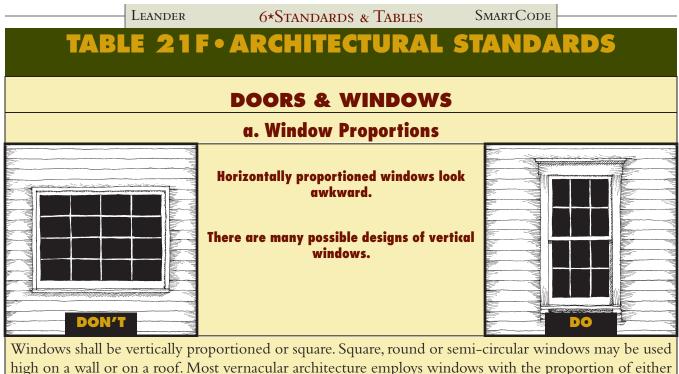
TABLE 21D • ARCHITECTURAL STANDARDS

	DOORS & WINDOWS
	a. Materials
Doors:	Shall be wood or clad wood for residential, and may also be steel or extruded aluminum for commercial use.
Garage Doors:	Shall be wood, clad wood, metal, or composite.
Windows:	Shall be wood, vinyl-clad wood, aluminum-clad wood, and solid PVC, but all must be indiscernible from wood at arm's length. Commercial windows may also be extruded aluminum or hollow steel frame. All windows shall have clear glass. Stained glass is permitted in residential and religious use.
Storefronts:	Shall be wood, custom metalwork, extruded aluminum, or hollow steel frame. Natural and bronze aluminum storefronts are prohibited.
Bay Windows:	Shall be trimmed with a single vertical jamb casing that extends from the window sash to the corner of the bay.
Shutters:	Shall be wood, fiber-cement, or solid PVC, and shall be indiscernible from wood at arm's length.
	b. Configurations
Doors:	Shall be side-hinged except garage doors, which may be sectional. Sliders shall not be visible from streets, sidewalks, or public spaces. The style of the front door shall match the building style.
Garage Doors:	Shall be a maximum of 9' in width if visible from streets, sidewalks, or public spaces. Alley-accessed garages may have 16' wide doors.
Windows:	Shall be single-hung, double-hung, triple-hung, casement, or fixed. The style of the windows shall match the building style. Window openings and panes shall be vertically proportioned or square. Flush mounted windows are prohibited.
Storefronts:	Shall be single panes of glass not larger than 6' high by 5' wide. Storefronts shall allow a minimum 60% of surface view into the building.
Bay Windows:	Shall extend to the ground or be supported by visible brackets.
Shutters:	Shall be exactly one-half the width of, and the same height of the associated opening. All shutters shall be louvered, paneled, or constructed of boards as appropriate to the style of the building.
Casing:	Shall never be narrower the 3 1/2" except on masonry walls. Mullion casing shall never be narrower than 3 1/2" regardless of location. Brick shall never be visible between a door or window and it's casing. Head casing shall be equal to or wider than jamb casing, and shall not be less than 1/6 the opening width.

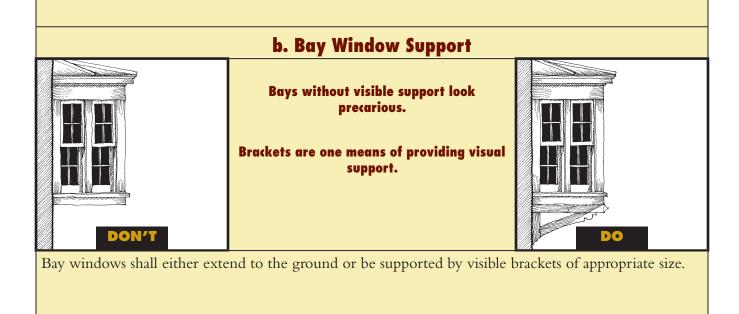




Double garage doors (16' wide) are discouraged over individual single garage doors for several reasons. First, double doors look unnaturally wide due to their proportions. Second, double doors often sag more and sooner than single doors because they span a greater distance. Double doors shall not be permitted unless from an alley-access.



high on a wall or on a roof. Most vernacular architecture employs windows with the proportion of either the human face or the entire human body. Generally, the more relaxed or informal languagesuse windows of a human face proportion (3:2). The more formal languages favor windows proportioned more like the entire human body (2:1 to 3:1 or sometimes a little taller).

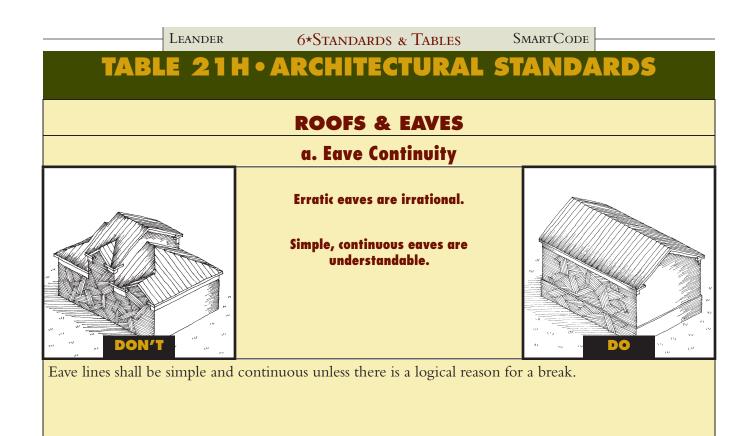


LEANDER 6*STANDARDS & TABLES SMARTCODE

TABLE 21G • ARCHITECTURAL STANDARDS

ROOFS & EAVES

	a. Materials
Metal Roofing:	Shall be flat between the primary ribs with no striations or pencil ribs.
Shingle Roofing:	Shall be slate, wood, wood shakes, or equivalent synthetic or better.
Tile Roofing:	Shall be clay, concrete or metal.
Flat Roofs:	Shall be commercial quality roofing.
Ridge Caps:	Shall be appropriate to the type of roofing. Bulbed ridge caps shall be used with 5V metal roofing, and standing seam ridge caps shall be of the lowest profile possible.
Eaves:	May be wood, stucco, or EIFS.Vinyl and sheet aluminum are prohibited. The eave return cap shall be built of continuous, un-seamed metal flashing.
Gutters & Downspouts:	Shall be copper, galvanized steel, or aluminum if exposed.
Dormers:	Shall never have siding as jamb material. Dormer jamb material should be a solid casing assembly from the window to the corner of the dormer wall. Brick shall only be used for a dormer face when it forms a parapet at the top of the dormer.
	b. Configurations
Principal Roofs:	Where sloped, shall be a symmetrical gable or hip. Slope shall fall within a range of not more than 15%. Flat roofs shall be surrounded by a horizontal parapet wall no less than 30" higher than the highest point of the roof deck.
Ancillary Roofs:	Slopes shall be between $1/3$ and $1/2$ the primary roof slope.
Gables:	Shall not be overlapping except when the smaller gable is part of a balcony, porch, or entrance.
Bay Roofs:	Shall be distinct from the primary roof, and return on themselves at each end.
Skylights:	Shall be flat.
Eaves:	Shall be as continuous as possible, both horizontally and vertically. Exposed rafter tails shall not exceed 6" in height. The trim immediately below the cornice shall not be a crown mould. It shall be a bed mold or similar shape. Eaves shall return around the corner and die into the wall without the common "pork chop" return. Brackets shall extend to the fascia or slightly beyond. A frieze board shall occur below the eave.
Gutters & Downspouts:	Shall be half-round or ogee shaped.
Dormers:	Shall have roof trim beginning at the window head and shall be composed of a head casing, soffit, and fascia at a minimum. Siding shall never be used above a window head except in the triangular space enclosed by the pediment of a gable-front dormer. The body of a single-window dormer shall be vertically proportioned or square. The total width of the dormer roof shall be 25% to 40% larger than the width of the dormer body.



b. Overlapping Gables



Arts & Crafts architecture is one of the very few appropriate locations for overlapping gables.



Overlapping gables should only be used when the smaller gable is part of a balcony, porch or entrance, or in the rare instances when they are appropriate to the style. For example, Arts & Crafts is one of the few styles where overlapping gables are appropriate.



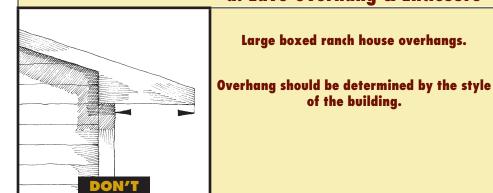
6*Standards & Tables

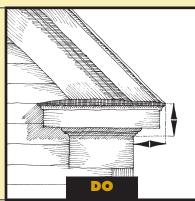
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TABLE 21J • ARCHITECTURAL STANDARDS

ROOFS & EAVES

a. Eave Overhang & Enclosure

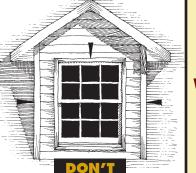




DO

Eave overhangs shall be appropriate to the style of the building. Formal styles may have closed eaves if appropriate to the style of the building, but vernacular buildings should have open eaves. Exposed rafter tails shall not exceed 6" in height.

b. Dormer Body Proportion



Body is too wide with boxy window proportion.

Vertically proportioned dormer and window.

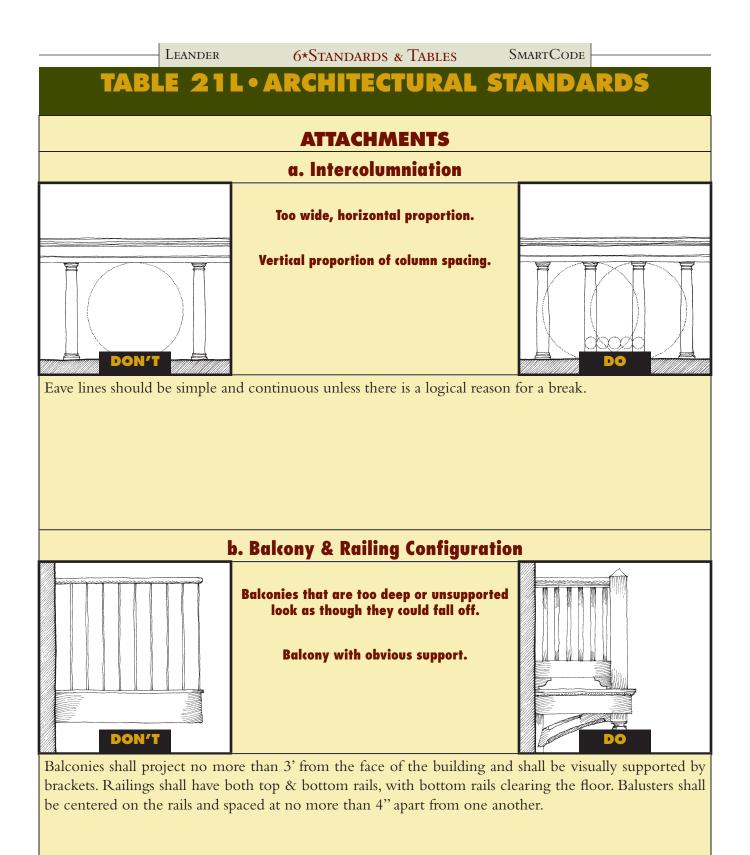
The body of a single-window dormer shall be vertically proportioned or square. Dormer windows shall be proportioned slightly shorter than typical windows in the floor below.

LEANDER 6*STANDARDS & TABLES SMARTCODE

TABLE 21K • ARCHITECTURAL STANDARDS

ATTACH	IMENTS
--------	---------------

a. Materials	
Columns & Posts:	Shall be made of wood, composite metal, native stone (or synthetic equivalent).
	Extruded aluminum is prohibited.
Porch Beams:	Shall be wood, fiber-cement, stone, concrete, stucco or EIFS. The grain or texture shall be horizontal.
Porch Ceilings:	Shall be wood, fiber-cement, or stucco.
Balconies & Railings:	Shall be wood, fiber-cement, or metal. The railing material shall not be heavier in appearance than the primary element of the balcony.
Chimneys:	Shall be sheathed in brick, stone, or stucco when visible.
Flues:	Shall be clay tile or galvanized metal left natural, or painted black.
Signs:	Shall be wood, composite, or metal unless painted on the building wall or window.
Awnings:	Shall be non-translucent canvas on a light metal frame.
b. Configurations	
Intercolumniation:	Shall be vertically proportioned.
Posts:	Shall be no less than 6" x 6" in cross section.
Face of Column or Post:	Shall align with the face of beam above.
Column Base:	Shall not protrude beyond the edge of the porch flooring. The outer edge of the base should align with the face of the pier or foundation below.
Porch Beams:	Shall be visible from both the inside and the outside of the porch. Seams between beam face and bottom of built-up beams shall occur beneath the beam.
Balconies:	Shall project no more than 3' from the face of the building and shall be visually support by brackets.
Railings:	Shall have both top and bottom rails, with bottom rails clearing the floor. Balusters shall be centered on the rails and spaced no more than 4" clear.
Chimneys:	Shall have a projecting cap, and extend to the ground if located on an outside wall.
Attached Signs:	Shall be one of the following: band sign, board sign, window sign, or painted wall sign. Attached signs shall be no more than 3' high and shall not be backlit or more than 12' above the sidewalk.
Blade Signs:	Shall be attached perpendicular to the façade. Blade signs may project up to 5' from the wall, and the top of the sign shall occur between 9' and 12' above the sidewalk. The blade sign shall not exceed 18" in height.
Awnings:	Shall be sloped rectangles without end panels or curved or sloped shapes with end panels.



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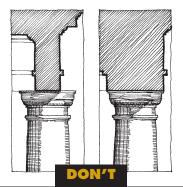
6*Standards & Tables

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TABLE 21M • ARCHITECTURAL STANDARDS

ATTACHMENTS

a. Column to Beam Alignment



DON'

Column appears too large or small because of alignment with beam.

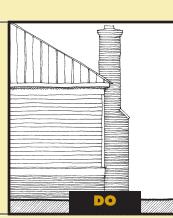
Face of beam aligns with shaft of column.

The face of the beam shall always align with the face of the top of the column. Renaissance architects put forth the idea that there were certain canonical ways of constructing the classical orders, and that there should be very little variation in their design. Later archaeology demonstrated the tremendous variety of the classical orders of antiquity, effectively dispelling this notion. The relationship of the column to the entablature, however, was an exception. It is nearly impossible to find examples of classical or even good vernacular architecture that violates this rule. Simply stated, the top of the column shaft should align flush with the face of beam or architrave above. Think of the simplest of columns and beams: if a 6" square wood post is used to support a 6" square wood beam, there is no doubt that the face of beam would be set flush with face of column. There is no reason to move the beam if trim is added to the column.

b. Chimney Configuration

Chimney appears to float above ground and has no cap.

Expressive brick chimney consistent with style of house.



Chimneys shall extend to the ground and have a projecting cap. Wood faced chimneys are prohibited.

ARTICLE 7 *DEFINITIONS*

ACCESSORY UNIT: see Ancillary Unit.

ALLEE: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Pedestrian Path.

ANCILLARY UNIT: an apartment not greater than 600 square feet sharing ownership and utility connections with a Principal Building. An Ancillary Unit may or may not be within an outbuilding. Ancillary Units do not count toward maximum density calculations for parking(see Tables 11 and 14).

APARTMENT: a dwelling unit sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums upon compliance with state law and applicable building and fire codes.

APPLICANT: Developers, landowners, and their authorized agents seeking entitlement under this Code.

AVENUE (AV): a thoroughfare of high vehicular capacity and low speed. Avenues are short distance connectors between urban centers. Avenues may be equipped with a landscaped median. Avenues become collectors upon exiting urban areas.

BACKBUILDING: a single-story structure connecting a principal building to an outbuilding (see Table 11, Graphic c).

BICYCLE LANE (BL): a dedicated bicycle lane running within a moderate-speed vehicular thoroughfare, demarcated by striping. This type is permitted within T1, T2, T3 and T4 Zones.

BICYCLE ROUTE (BR): a thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds. This type is permitted within T3, T4, T5 and T6 Zones.

BICYCLE TRAIL (BT): a bicycle way running independently of a high-speed vehicular thoroughfare. This type is permitted within T1, T2 and T3 Zones.

BLOCK: the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

BLOCK FACE: the aggregate of all the building facades on one side of a block. The Block Face provides the context for establishing Architectural Harmony.

BOULEVARD (BV): a thoroughfare designed for high vehicular capacity and moderate speed. Boulevards are long-distance thoroughfares traversing urbanized areas. Boulevards are usually equipped with slip roads buffering sidewalks and buildings. Boulevards become arterials upon exiting urban areas.

BROWNFIELD: an area previously used primarily as an industrial site.

BUILDING DISPOSITION: the placement of a building on its lot (see Table 17).

BUILDING FUNCTION: the uses accommodated by a building and its lot. Functions are categorized as Restricted, Limited, or Open, according to the intensity of the use (see Tables 12 & 13).

BUILDING HEIGHT: the vertical extent of a building measured in stories, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures. Building Height shall be measured from the average grade of the enfronting thoroughfare (see Table 9).

BUILDING TYPE: a structure category determined by

CARRIAGE HOUSE: one-and-one-half story or taller residential unit with no more than 800 square feet on the ground level. Ground level shall include a one- or two-car garage. All upper levels shall be entirely residential. Carriage Houses may either be built as an Ancillary Unit on the same lot as a Principal Building, or may be built on their own lot.

CIVIC: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

CIVIC BUILDING: a building designed specifically for a civic function. Civic Buildings shall not be subject to the requirements of Section 5. The particulars of their design shall be determined by Exception.

CIVIC PARKING RESERVE: parking structure or lot within a quarter-mile of the site that it serves. Space may be leased or bought from this Reserve to satisfy parking requirements.

CIVIC SPACE: an open area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their enfronting buildings. See Table 18.

COMMERCIAL: the term collectively defining workplace, office and retail functions.

COMMUNITY PATTERN: the physical form of a settlement. Variations are due to the particulars of the site, density, spatial definition program, transportation and implementation. Transect-based Community Patterns are socially and functionally variegated; they are walkable and manifest a gradient from urban to rural.

CONSOLIDATED REVIEW COMMITTEE (CRC): Membership shall include the Urban Design Officer (UDO), one city staff person with planning function and one representative of the landowners, at minimum. Such ratio of representation shall be maintained by appointments of the City Manager and the majority of landowners on an acreage basis.

CONTEXT: surroundings made up of the particular combination of elements that create specific habitat.

CORRIDOR: a lineal geographic system incorporating transportation and/or greenway trajectories. A transportation corridor may be a lineal urban Transect Zone.

COURTYARD BUILDING: a building that occupies the boundaries of its lot while internally defining one or more private patios. This type is able to shield the private realm while strongly defining the public thoroughfare. Because of its ability to mask incompatible activities, it is recommended for workshops, lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.

CURB: the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system (see Table 8).

DENSITY: the number of dwelling units per acre (see Section 3.4).

DESIGN SPEED: is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

DISTRICT: see Specialized District.

DRIVEWAY: a vehicular lane within a lot, usually leading to a garage. A Driveway in the First Layer may be used for parking if it is no more than 18 feet wide, thereby becoming subject to the constraints of a parking lot.

DUPLEX: A Two-unit dwelling. The design of the building shall be accomplished in such a manner that the Duplex appears to be a large single-family house.

EDGEYARD BUILDING: a building that occupies the center of its lot with setbacks on all sides. This is the least urban of types as the front yard sets it back

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from the frontage, while the sideyards weaken the spatial definition of the public thoroughfare. The front yard should be visually continuous with those of adjacent buildings. The rear yard can be secured for privacy by fences and a backbuilding and/or outbuilding.

ELEVATION: the exterior walls of a building not along a Frontage Line. Facades are the remaining exterior walls of buildings and are those exterior walls that are located along a Frontage Line. (see Table 11)

ENFRONT: to place an element along a frontage line, as in "porches enfront the street."

ENTRANCE, PRINCIPAL: the main point of access of pedestrians into a building. In the support of pedestrian activity, the Principal Entrance should be given to a Frontage Line rather than to the parking.

ESTATE HOUSE: a Mansion in Transect Zones T2 or T3.

EXCEPTION: a variance that permits a practice that is not consistent with a provision nor the Intent of this Code. Exceptions are granted only by the Board of Adjustment or amendment of the PUD Plan.

FACADE: the exterior wall of a building that is set along a Frontage Line (see Elevation). Facades support the public realm and are subject to requirements additional to those required of elevations

FOURPLEX: A four-unit dwelling. The design of the building shall be accomplished in such a manner that the Fourplex appears to be a large singlefamily house.

FRONTAGE LINE: those lot lines that coincide with a public frontage. Facades along Frontage Lines define the public realm and are therefore more regulated than the elevations that coincide with other Lot Lines.

FUNCTIONS: Uses according to Tables 12A and 12B, which are allowed as a matter of right as determined by the particular transect zone.

GREENFIELD: a project planned for an undeveloped area outside the existing urban fabric. See Infill.

GREENWAY: an open space corridor in largely

natural conditions which may include Trails for bicycles and pedestrians.

GREYFIELD: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites.

GUEST HOUSE: a residential unit no larger than 2 bedrooms (900 square feet).

HOME OCCUPATION: A residential unit providing for a combination of uses in which home occupation activity can occur. The occupation function shall be incidental to the primary function of the building as residence. No person outside the residence may be employed unless the residence is a Live-Work unit. There shall be no exterior display, no exterior storage of materials and no other variation from the residential character of the principal building, unless the residential unit is a Live-Work Unit or the building has been converted to a non-residential function consistent with applicable building codes and SECTION 3.2 of this Code.

INDEPENDENT BUILDING: a building designed by a different architect from the adjacent buildings.

INFILL: a project within existing urban fabric.

INSIDE TURNING RADIUS: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. Control of the Curb Radius is an important variable in the design of a pedestrian environment (see Tables 10B, 10C and 11).

LARGE HOUSE: a residential unit no smaller than 3,200 square feet and no larger than 4,800 square feet.

LAYER: a range of depth of a lot within which certain elements are permitted (see Table 11, Graphic d.).

LINER BUILDING: a building specifically designed to mask a parking lot or a parking garage from a frontage. A Liner Building, if less than 30 feet deep and two stories, shall be exempt from parking requirements.

LIVE-WORK: a dwelling unit that contains, to a

limited extent, a commercial component. A Live-Work Unit is a fee-simple unit on its own lot with the commercial component limited to the ground level. (Syn.: Flexhouse.) (See Work-Live.)

LODGING: premises available for daily and weekly renting of bedrooms. The area allocated for food service shall be calculated and provided with parking according to retail use.

LOT LINE: the boundary that legally and geometrically demarcates a lot (see Frontage Line). Such lines appear graphically on Community and Site Plans. Codes reference lot lines as the baseline for measuring setbacks (see Tables 11 and 19G).

LOT WIDTH: the length of the principal Frontage Line of a lot.

MANSION: a residential unit no smaller than 4,800 square feet.

MANUFACTURING: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and for their retail sale.

MEDIUM HOUSE: a residential unit no smaller than 1,600 square feet and no larger than 3,200 square feet.

MEETING HALL: a building available for gatherings, including conferences, accommodating at least one room with an area equivalent to a minimum of 10 square feet per projected dwelling unit within the pedestrian shed in which the meeting hall is located. The Meeting Hall may be used for the marketing purposes of the development until the sale of 75% of the dwelling units at which time control of its use shall be given to the City.

NET SITE AREA: the developable areas of a site, excluding flood plain. The Net Site Area shall be allocated to the various Transect Zones according to the parameters in Table 19A.

OFFICE: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

OUTBUILDING: a building located towards the rear of the same lot as a Principal Building. It is sometimes connected to the principal building by a Backbuilding. Outbuildings shall not exceed 600 square feet excluding parking areas (see Table 11). An outbuilding can serve as habitable space or as a storage facility.

PARKING STRUCTURE: a building containing two or more stories of parking. The propensity of Parking Structures to create negative pedestrian experiences along their frontage shall be mitigated by the provision of a Liner Building at the first story.

PASSAGE (PS): a pedestrian connector passing between buildings, providing shortcuts through long blocks and connecting rear parking areas to frontages. Passages may be roofed over.

PATH (PT): a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space. Paths should connect directly with the urban sidewalk network.

PEDESTRIAN SHED: an area defined by the average distance that may be traversed at an easy walking pace from its edge to its center. This distance is applied to determine the size of a Neighborhood or extent of a Community. A standard Pedestrian Shed is one quarter of a mile radius or 1320 feet. With transit available or proposed, a Long Pedestrian Shed has an average walking distance of a halfmile or 2640 feet. Pedestrian Sheds should be conceived as oriented toward a central destination containing one or more important intersections, meeting places, civic spaces, civic buildings, and the capacity to accommodate a T5 Transect Zone in the future. Sometimes called Walkshed.

PLANTER: the element of the public streetscape which accommodates street trees. Planters may be continuous or individual.

PRINCIPAL BUILDING: the main building on a lot, usually located toward the frontage (see Table 11).

PRIVATE FRONTAGE: the privately held layer between the frontage line and the principal building facade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches and galleries (see Table 7).

PUBLIC FRONTAGE: the area between the curb of the

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vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight (see Table 8).

REAR ALLEY (AL): a vehicular passageway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys shall be paved with drainage by inverted crown at the center or with roll curbs at the edges. This type is required within T5 and T6 Zones; either a lane or alley is required within T4.

REAR LANE (LA): a vehicular driveway located to the rear of lots providing access to parking and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. Its streetscape consists of gravel or landscaped edges, no raised curb and is drained by percolation. This type is permitted within T2-T4 Zones; either a lane or alley is required within T4.

REARYARD BUILDING: a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous facade spatially defines the public thoroughfare. In its residential form, this type yields a rowhouse. For its commercial form, the rear yard can accommodate substantial parking.

RESIDENTIAL: premises available for long-term human dwelling that includes a kitchen and a bathroom.

RETAIL: premises available for the sale of merchandise and food service.

RETAIL FRONTAGE LINE: Frontage Lines designated on a Community Plan that require the provision of a Shopfront, causing the ground level to be available for retail use.

ROAD (RD): a local, rural and suburban thoroughfare of low vehicular speed and capacity. Its public frontage consists of swales drained by percolation and a walking path or bicycle trail along one or both sides. The landscaping consists of multiple species composed in naturalistic clusters. This type is allocated to the more rural Transect Zones (T1-T3).

Row HOUSE: attached dwelling unit. The Row House is a Rearyard unit. (see Table 17, Illustration c.)

SERVICE BOUNDARY LINE: the extent of potential or feasible urban growth as determined by the extension of infrastructure, principally sewer.

SETBACK: the area of a lot measured from the lot line to a building facade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback.

SHARED PARKING POLICY: an accounting for parking spaces that are available to more than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies according to multiple functions in close proximity which are unlikely to require the spaces at the same time (see Tables 12 and 14).

SIDEYARD HOUSE BUILDING: a building that occupies one side of the lot with a setback to the other side. The visual opening of the side yard on the street frontage causes this building type to appear freestanding. A shallow frontage setback defines a more urban condition. If the adjacent building provides a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze.

SIDEWALK: the paved layer of the public frontage dedicated exclusively to pedestrian activity.

SITE: The total land enclosed by all Lot Lines of a piece of property. The Site is made up of the First Layer, the Second Layer and the Third Layer. (see Table 11)

SMALL HOUSE: one, one-and-one-half story, two story or taller residential unit no smaller than 800 square feet and no larger than 1,600 square feet.

SPECIALIZED BUILDING: a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to manufacturing and transportation, and are distorted by the trajectories of machinery.

SPECIALIZED DISTRICT (SD): Specialized District designations shall be assigned to areas that, by their

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intrinsic function, disposition, or configuration, cannot conform to one of the six normative Transect Zones or Community Types specified by this Code. Typical Districts may include large parks, institutional campuses, refinery sites, airports, etc. However, if at all possible the perimeters of such Districts (excepting parks) should be designed as one or more normal Transect Zones to integrate with the surrounding community or countryside.

STORY: a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height.

STREAMSIDE CORRIDOR: the zone within which a waterway flows, its width to be variably interpreted according to the Transect Zone.

STREET (ST): a local urban thoroughfare of low speed and capacity. Its public frontage consists of raised curbs drained by inlets and sidewalks separated from the vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees. This type is permitted within the more urban Transect Zones (T4-T6).

Streetscape: the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

STREETSCREEN: sometimes called Streetwall. A freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the thoroughfare. Streetscreens shall be at least 3.5 feet in height and constructed of a material matching the adjacent building facade. The streetscreen may be a hedge or fence by Warrant, if achieving the same effectiveness as a minimum 3.5 foot wall. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian

access. In addition, all streetscreens over 4 feet high should be 30% permeable or articulated to avoid blank walls.

SUBSTANTIAL MODIFICATION: alterations to a building that are valued at more than 50% of the replacement cost of the entire building, if new.

TERMINATED VISTA: a location at the axial conclusion of a thoroughfare. A building located at a Terminated Vista designated on a Community Plan or as required by Section 3.6.2.C is required to be designed in response to the axis.

THIRD PLACE: a private building that includes a space conducive to unstructured social gathering. Third Places may be bars, cafés and corner stores.

THOROUGHFARE: a vehicular way incorporating moving lanes and make include parking lanes within a right-of-way (see TABLES 10A, 10B AND 10C).

TOD: Transit-Oriented Development.

TOWN CENTER: the mixed-use center or main commercial corridor of a community. A town center for TOD communities may be a substantial downtown commercial area, often connected to other town centers by transit.

TRANSECT: a system of ordering human habitats in a range from the most natural to the most urban. The SmartCode is based upon six Transect Zones which describe the physical character of place at any scale, according to the density and intensity of land use and urbanism. The T-Zones are: T1 Natural, T2 Rural, T3 Sub-Urban, T4 Neighborhood General, T5 Neighborhood Center, and T6 Urban Core.

TRANSECT ZONE (T-ZONE): Transect Zones are administratively similar to the land-use zones in conventional codes, except that in addition to specifying the usual building use, density, height, and setback, other elements of the intended habitat are integrated, including those of the private lot and building as well as those of the enfronting public streetscape. The elements are determined by their location on the Transect scale.

TRANSITION LINE: a horizontal line spanning the full width of a facade, expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony (see Diagram 7.4.6).

TRANSPORTATION CORRIDORS: The CIP Roads and Major Streets as established by the Transect Map.

TRIPLEX: A three-unit dwelling. The design of the building shall be accomplished in such a manner that the Triplex appears to be a large single-family house.

UNIFIEDDEVELOPMENTCODE("CODE"):Thezoning, subdivision and development standards contained herein implementing the Transect Map, which replace the existing Leander Land Development Code.

URBAN DESIGN OFFICER: A town planner appointed by the City Manager assigned to advise on the use of this Code and to aid in the design of the communities and buildings based on it. To aid in his or her mission, the Urban Design Officer may establish an urban design center if the Consolidated Review Committee and/or the City/landowners provide sufficient resources.

VARIANCE: an administrative technique granting relief from the provisions of a code. There are two types of variances: Warrants and Exceptions (see Section 1.6).

WARRANT: a type of variance that permits a practice that is not consistent with a specific provision of this Code, but is justified by its Intent or by hardship. Warrants are approved administratively by the UDO and the CRC.

WORK-LIVE: a dwelling unit that contains a commercial component. A Work-Live Unit is a feesimple unit on a lot with the commercial component anywhere within the unit. (Syn.: Live-With.) (See Live-Work.)

ARTICLE 8 *CONVENTIONAL ZONE*

8.1 Applicability

The geographic area within the Conventional Zone designated on the Transect Map shall be developed pursuant to the zoning ordinance, subdivision ordinance and other development ordinances that are in effect from time to time outside the area designated on the Transect Map, except the following architectural standards apply only to the Conventional Zone.

8.2 Architectural Standards

- 8.2.1 ROOF PITCH. The predominant roof pitch for each house shall be 8:12 or steeper. Certain exceptions may apply:
 - a. In certain small areas that are not visible from the street (front or side) a lesser pitch may be used where it is infeasible to construct a roof of prescribed pitch given the floor plan and architecture of the home (i.e. in areas that need to be covered by a flat roof because the geometry of a pitched roof if infeasible).
 - b. In certain small areas (less than 15% of the total roof area) of the house, such as porches and covered patios, where a lower pitched roof is necessary to accomplish a certain architectural style that cannot be accomplished in another way shall be allowed (i.e. a low pitched front porch roof to accomplish a "Texas Hill Country" style home).

- 8.2.2 ROOF MATERIAL. The following shall be allowed:
 - a. Fiberglass shingles-roofing be "dimensional style" shingles of at least 300 lbs. per square (No three tab roofing is allowed).
 - b. Concrete Tile
 - c. Concealed-fastener standing seam metal roof allowed on larger houses (No galvanized aluminum is allowed).

8.2.3 MASONRY.

- a. 100% stone, stucco or brick shall be utilized on first floor (80% overall including 2nd level areas). Only clay brick shall be utilized. No concrete brick or "king sized" brick is allowed.
- b. Masonry must extend to a point no higher than 16 inches from the finished grade at the base of the concrete foundation. Houses with a tall foundation wall shall incorporate a lowered masonry lug where the masonry will cover the side of the foundation.
- c. Fireplaces and chimneys located on an exterior wall must be 100% masonry. The masonry shall be the same material on all four sides of the chimney as it extends above the roof. Chimneys that are not on an interior wall and extend solely above the roof may use materials other than masonry.
- 8.2.4 GARAGE DOORS.
 - a. Heavy gauge steel doors with deeply

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embossed panels shall be utilized.

- b. Cedar-faced wooden garage doors are allowed.
- 8.2.5 Architectural Design.
 - a. Designs with front porches and appropriate details such as shutters are encouraged.
 - b. Sidewalks shall be located per street section.
- 8.2.6 LANDSCAPING.
 - a. Minimum 2-inch caliper trees shall be planted.
 - b. A "street" tree shall be located between curb and sidewalk.
 - c. Trees shall be irrigated and maintained by home owner.
 - d. Front yards shall be irrigated and sodded by developer.
 - e. Backyards shall be sodded by developer.